



## ACTIVITY DETERMINATION

Project No. BGWPZ

### Conflict of Interest<sup>1</sup>

In this matter:

1. I have declared any possible conflict of interests (real, potential or perceived) to the Chief Executive, Land & Housing Corporation.
2. I do not consider I have any personal interests that would affect my professional judgement.
3. I will inform the Chief Executive, Land & Housing Corporation as soon as I become aware of a possible conflict of interest.

Signed.....

Name..... Emma Nicholson.....

Dated..... 3 May 2023.....

Having regard to the Determination Recommendation Report, the Statement of Compliance and the Review of Environmental Factors for this project addressing matters under Part 5 of the *Environmental Planning and Assessment Act 1979*, I determine that the activity proceed as described below and subject to the identified requirements set out in **Schedule 1**.

### SITE IDENTIFICATION

#### STREET ADDRESS

Unit/Street No

13

Street or property name

Latty Street

Suburb, town or locality

Fairfield

Postcode

2165

Local Government Area(s)

Fairfield

Real property description (Lot and DP)

Lot 4 DP35006

### ACTIVITY DESCRIPTION

Provide a description of the activity

Demolition of the existing dwelling and associated structures, and construction of a manor house containing 4 x 2 bedroom dwellings with surface parking for 2 vehicles, associated landscaping, fencing and civil works.

1. Conflict of interest includes actual and potential. A conflict of interest includes pecuniary i.e. financial interests to you or a related party or non-pecuniary i.e. benefits to relatives, friends, business associates and personal causes, etc. This includes "related persons" as defined in the Property, Stock and Business Agency Act 2002.

Signed.....

Dated...3.May.2023

Emma Nicholson  
A/Head of Policy and Innovation  
Land and Housing Corporation  
Department of Planning & Environment

## SCHEDULE 1

### IDENTIFIED REQUIREMENTS

#### PART A – Standard identified requirements

#### THE DEVELOPMENT

The following identified requirements are to ensure that the **residential** activity is carried out in accordance with the plans / documents and any amendments arising from the Review of Environmental Factors under Part 5 of the Environmental Planning & Assessment Act 1979, Section 171 of the Environmental Planning and Assessment Regulation 2021 and the requirements of State Environmental Planning Policy (Housing) 2021

1. The development shall be carried out substantially in accordance with the following plans / documents and as modified below by any of the undermentioned identified requirements:

Title / Name:	Drawing No / Document Ref	Revision / Issue:	Date [dd.mm.yyyy]:	Prepared by:
<b>Architectural</b>				
Cover	A - 001-001	Rev 03	27.10.2022	Studio Johnston
Site Plan	A - 100-001	Rev 03	27.10.2022	Studio Johnston
Block Analysis	A - 100-002	Rev 03	27.10.2022	Studio Johnston
Site Analysis	A - 100-003	Rev 03	27.10.2022	Studio Johnston
Demolition Plan	A - 100-004	Rev 03	27.10.2022	Studio Johnston
Cut and Fill Plan	A - 100-005	Rev 03	27.10.2022	Studio Johnston
Ground Level	A - 110-001	Rev 03	27.10.2022	Studio Johnston
Level 1	A - 110-002	Rev 03	27.10.2022	Studio Johnston
Roof	A - 110-003	Rev 03	27.10.2022	Studio Johnston
East & South Elevation	A - 200-001	Rev 03	27.10.2022	Studio Johnston
West & North Elevation	A - 200-002	Rev 03	27.10.2022	Studio Johnston
Section AA & BB	A - 300-001	Rev 03	27.10.2022	Studio Johnston
GFA Diagrams	A - 400-001	Rev 03	27.10.2022	Studio Johnston
Landscaped Open Space	A - 410-001	Rev 03	27.10.2022	Studio Johnston
Adaptable Unit	A - 420-001	Rev 03	27.10.2022	Studio Johnston
Shadow Diagrams	A - 700-001	Rev 03	27.10.2022	Studio Johnston
View from sun 21 June	A - 710-001	Rev 03	27.10.2022	Studio Johnston
View from sun 21 June	A - 710-002	Rev 03	27.10.2022	Studio Johnston
<b>Landscape</b>				
Coversheet	000	Issue F	25.10.2022	Site Image Landscape Architects
Landscape Plan	100	Issue E	25.10.2022	Site Image Landscape Architects



Title / Name:	Drawing No / Document Ref	Revision / Issue:	Date [dd.mm.yyyy]:	Prepared by:
BASIX Calculation Plan	101	Issue D	28.10.2022	Site Image Landscape Architects
Details and Specifications	500	Issue E	25.10.2022	Site Image Landscape Architects
<b>Stormwater Management</b>				
Notes and Legends	Drawing No C01	Rev 6	27.10.2022	Greenview Consulting Pty Ltd
Ground Floor Drainage Plan	Drawing No C02	Rev 6	27.10.2022	Greenview Consulting Pty Ltd
Site Stormwater Details (Sheet 1)	Drawing No C03	Rev 6	27.10.2022	Greenview Consulting Pty Ltd
OSD Catchment Plan	Drawing No C04	Rev 6	27.10.2022	Greenview Consulting Pty Ltd
Notes and Legends	Drawing No ESM1	Rev 4	27.10.2022	Greenview Consulting Pty Ltd
Environmental Site Management Plan	Drawing No ESM2	Rev 4	27.10.2022	Greenview Consulting Pty Ltd
<b>BASIX &amp; NatHERS Certificate</b>				
BASIX Certificate	No 1275824M_02	-	04.11.2022	Greenview Consulting Pty Ltd
NatHERS Certificate	No 0007707970	-	04.11.2022	Greenview Consulting Pty Ltd
<b>Specialist Reports</b>				
Arboricultural Impact Assessment and Tree Protection Plan and specification	13 Latt/AIA/020522	Rev 4	27.10.2022	Green Spaces Consultancy
Building Code of Australia 2019 Amendment 1 Final Report	021-217800	R03	27.10.2022	Philip Chun Building Compliance
Access Review			27.10.2022	Morris Goding Access Consulting
Geotechnical Investigation and Acid Sulfate Soil Assessment	21/2580		September 2021	STS Geotechnics Pty Ltd
Flood Review for proposed Residential Development	210825	Rev 5	30.03.2023	Greenview Consulting Pty Ltd

2. All building work is to be undertaken in accordance with the National Construction Code and referenced Australian Standards.
3. All commitments listed in the BASIX certificate and stamped plans shall be implemented.
4. All construction documentation and building work are to be certified in accordance with Section 6.28 of the *Environmental Planning and Assessment Act 1979*.

## OPERATIONAL MATTERS

*The following identified requirements relate to the use of the site and are to ensure that the activity and its operation do not interfere with the amenity of the surrounding area.*

### Stormwater Run-off

5. Stormwater shall be collected within the site and conveyed in a pipeline to the appropriate gutter or drain under the control of Fairfield City Council substantially in accordance with the approved concept stormwater drainage plans.

6. Alterations to the natural surface contours or surface absorption characteristics of the site shall not impede, increase or divert natural surface water runoff so as to cause a nuisance to adjoining property owners.
7. All driveways shall be graded in such a manner as to provide continuous surface drainage flow paths to the appropriate points of discharge.
8. To prevent water from entering buildings, surface waters shall be collected and diverted clear of the buildings by a sub-surface / surface drainage system.

### **Vehicular Access & Parking**

9. Concrete vehicular crossings and laybacks shall be provided at the entrances/exits to the property. The crossings and laybacks shall be constructed in accordance with Fairfield City Council's standard requirements for residential crossings. Council shall be provided with plans for the crossings and laybacks together with the payment of any council inspection fees.
10. Particular care shall be taken in the location of vehicular crossings and/or laybacks to avoid poles, pits etc. The cost of any necessary adjustments to utility mains and services associated with the construction of the laybacks/driveways shall be borne by the Land & Housing Corporation. Obsolete gutter laybacks shall be constructed as kerb in accordance with the council's standards.

*Note: It is recommended that discussions be held with the relevant authorities before construction works commence.*

11. Car parking spaces and driveways shall be constructed of concrete or other approved hard surface materials. The car parking spaces must be clear of obstructions and columns, permanently line marked and provided with adequate manoeuvring facilities. The design of these spaces must comply with AS 2890.1.

### **Site Works**

12. All soil erosion and sediment control measures required to be put in place prior to the commencement of demolition / construction works shall be maintained during the entire period of the works and until all the disturbed areas are restored by turfing, paving or revegetation. Soil erosion and sediment control measures shall be designed in accordance with the guidelines set out in the Blue Book *Managing Urban Stormwater: Soils and Construction* (4th edition, Landcom, 2004).
13. An appropriately qualified person shall design any retaining walls or other methods necessary to prevent the movement of excavated or filled ground, including associated stormwater drainage measures.

### **Building Siting**

14. All buildings shall be sited well clear of any easements affecting the site. The builder shall ascertain if any easements do exist and, and if they do, obtain full details of such prior to construction commencing.

### **Smoke Detection System(s)**

15. Smoke detection systems shall be installed throughout the building in accordance with requirements of Clause E2.2a of the Building Code of Australia. Detectors and alarms shall comply with AS 3786 and AS 1670 and must be:

- i. connected to a permanent 240V power supply; and
- ii. provided with a battery backup to activate the alarm unit in the event of failure of the permanent power supply.

### **Site Soil Contamination**

16. If the site is identified as being potentially affected by soil contamination, it shall be inspected by a suitably qualified person to identify any contaminated or hazardous material present. A proposal for remediation shall be prepared, which may include preparation of a Remedial Action Plan, and remediation shall be carried out in accordance with the proposal. A Validation Report, prepared in accordance with Environment Protection Authority requirements, shall be obtained from a qualified expert on completion of the remediation work to verify that the site is suitable for the intended residential use. A copy of the Validation Report shall be provided to the Land & Housing Corporation on completion of the remediation works.

### **Landscaping**

17. Landscaping shall be carried out substantially in accordance with the approved landscape plans and maintained for a period of 12 months by the building contractor. Fairfield City Council shall be consulted in relation to the planting of any street trees.
18. All scheduled plant stock shall be pre-ordered prior to commencement of construction or 3 months prior to the commencement of landscape construction works, whichever occurs sooner, for the supply to the site on time for installation. The builder shall provide written confirmation of the order to Council and provide a copy to the Land & Housing Corporation.

### **Fencing**

19. All front fencing and gates shall be constructed wholly within the boundaries of the site. Any gates associated with the fencing shall swing inwards towards the site.

### **Provision of Letterbox Facilities**

20. Suitable letterbox facilities shall be provided in accordance with Australia Post specifications.

### **Public Liability Insurance**

21. A valid public liability insurance policy of at least \$10M shall be maintained throughout the demolition / construction works by the building contractor.

### **PRIOR TO ANY WORK COMMENCING ON THE SITE**

*The following identified requirements are to be complied with prior to any work commencing on the site, including demolition.*

### **Disconnection of Services**

22. All services that are required to be disconnected shall be appropriately disconnected and made safe prior to commencement of the demolition / construction works. The various service authorities shall be consulted regarding their requirements for the disconnection of services.

23. All existing services within the boundary to remain live shall be identified, pegged and made safe.

### **Demolition**

24. The builder shall notify the occupants of premises on either side, opposite and at the rear of the site a minimum of 5 working days prior to demolition. Such notification shall be clearly written on an A4 size paper giving the date demolition will commence and be placed in the letterbox of every premise (including every unit in a multi-unit residential building or mixed use building). The demolition shall not commence prior to the date that is stated in the notice letter.
25. Prior to the demolition, a Work Plan shall be prepared by a competent person(s) in accordance with AS 2601 and shall be submitted to the Land & Housing Corporation. The Work Plan shall outline the identification of any hazardous materials (including surfaces coated with lead paint), method of demolition, the precautions to be employed to minimise any dust nuisance and the disposal methods for hazardous materials.
26. If buildings to be demolished are determined as, or suspected of, containing asbestos cement, a standard commercially manufactured sign containing the words 'DANGER ASBESTOS REMOVAL IN PROGRESS', and measuring not less than 400mm x 300mm, shall be erected in a prominent visible position on the site for the duration of the demolition works.

**Note:**

*Any building constructed before 1987 is assumed to contain asbestos.*

### **Utilities Service Provider Notification**

27. The demolition / construction plans shall be submitted to the appropriate water utility's office (e.g. Sydney Water office) to determine whether or not the development will affect the utility's sewer and water mains, stormwater drains and any easements.

**Note:**

*If the development complies with water utility's requirements, the plans will be stamped indicating that no further requirements are necessary.*

### **Council Notification**

28. Fairfield City Council shall be advised by the building contractor in writing, of the date it is intended to commence work, including demolition. A minimum period of 5 working days notification shall be given.

### **Site Safety**

29. A sign shall be erected in a prominent position on the site:
- (a) showing the name, address and telephone number of the responsible Land & Housing Corporation officer for the work, and
  - (b) showing the name of the principal contractor (if any) and the telephone number on which that person may be contacted during and outside working hours, and
  - (c) stating that unauthorised entry to the site is prohibited.

The sign shall be maintained while the work is being carried out but shall be removed when the work has been completed.

**Note:**

*This requirement does not apply in relation to building work that is carried out inside an existing building that does not affect the external walls of the building.*

30. A minimum 1.8m high security fence or Class A / Class B (overhead) hoarding must be erected between the work site and any public place prior to demolition / construction. Access to the site shall be restricted to authorised persons only and the site shall be secured against unauthorised entry when demolition / construction work is not in progress or the site is otherwise unoccupied.

**Note:**

*Approval from the relevant roads authority may be required under Section 138 of the Roads Act 1993 where a Class A or B hoarding encroaches onto the footpath of / or a public thoroughfare within a classified road.*

31. No building or demolition materials are to be stored on the footpath or roadway.

**Site Facilities**

32. The following facilities shall be installed on the site:
- (a) Toilet facilities shall be provided at the rate of 1 toilet for every 20 persons, or part thereof, employed at the site. Each toilet shall be a standard flushing toilet and shall be connected to a public sewer. If connection to a public sewer is not practicable, to an accredited sewerage management facility provided by Fairfield City Council or if this is also not practicable to some other council approved management facility.
  - (b) Adequate refuse disposal methods and builders storage facilities. Builders' wastes, materials or sheds shall not be placed on any property other than that to which this activity relates.
33. Access to the site shall only be provided via an all weather driveway on the property and shall not be provided from any other site.

**Protection of Trees**

34. The existing tree located at the rear of 11 Latty St, near the common side boundary with the development site, and identified as 'Tree 1' in the Arboricultural Impact Assessment and Tree Protection Plan and Specification prepared by Green Spaces Consultancy, shall be protected prior to the commencement of works and for the duration of the construction period in accordance with the details provided in the Arboricultural Impact Assessment and Tree Protection Plan and Specification.

**Waste Management**

35. A final Waste Management Plan shall be prepared and submitted to the Land & Housing Corporation by the building contractor prior to the commencement of demolition / construction. The plan shall detail the amount of waste material and the destination of all materials, recyclable and non-recyclable.

**PRIOR TO ANY CONSTRUCTION WORK COMMENCING ON SITE**

*The following identified requirements are to be complied with prior to any construction works occurring on the site, excluding demolition.*

## Service Authority Clearances

36. A compliance certificate, or other evidence, shall be obtained from Sydney Water, confirming service availability prior to work commencing.

**Note:**

*Payment of water and/or sewer service charges and/or a notice of requirements for works to be carried out during construction / prior to occupation may be applicable prior to issue of the compliance certificate.*

37. A written clearance from an electricity supply authority stating that electrical services are available to the site, or that arrangements have been entered into for the provision of services to the site, shall be obtained prior to work commencing.
38. A certificate from an approved telecommunications carrier certifying that satisfactory arrangements have been made for the provision of underground telephone services, to the site and to each dwelling, shall be obtained prior to work commencing.
39. Where the site is to be connected to reticulated gas, a certificate from an approved gas carrier certifying that satisfactory arrangements have been made for the provision of underground gas services, to the site and to each dwelling, shall be obtained prior to work commencing.

## Stormwater Disposal

40. A detailed stormwater drainage plan(s), substantially in accordance with the approved concept stormwater drainage plan(s), shall be prepared and submitted to the Land & Housing Corporation. Any on-site detention system shall be designed in accordance with the relevant catchment authority's requirements (e.g. the Upper Parramatta River Catchment Trust On-site Detention Handbook) and/or Fairfield City Council's drainage code.

## DURING DEMOLITION AND CONSTRUCTION WORKS

*The following identified requirements are to be complied with whilst demolition and construction works are occurring on the site.*

### Landfill

41. Where site filling is required, a minimum of 95% standard compacting shall be achieved and certified by a NATA registered Soils Laboratory.
42. Land fill materials must satisfy the following requirements:
- i. Shall be Virgin Excavated Natural Matter (VENM);
  - ii. Shall be free of slag and hazardous, contaminated, putrescible, toxic or radioactive matter; and
  - iii. Shall be free of industrial waste and building debris.

### Heritage

43. Historic and indigenous archaeological sites and relics are protected under the *Heritage Act 1977* and *National Parks and Wildlife Act 1974*, respectively. Should any relics be uncovered during the course of the approved works, work must cease immediately in the affected area. Subsequently, in cases where historical or indigenous items have been uncovered, the Department of Planning and Environment must be contacted.

44. All workers / contractors on the site shall be informed of their obligations, under the Heritage Act and *National Parks and Wildlife Act 1974*, that it is illegal to disturb, damage or destroy a relic without the prior approval.

### **Demolition**

45. Any existing structures identified for demolition shall be demolished prior to commencement of the construction of the activity.
46. Demolition shall be carried out in accordance with the appropriate provisions of AS 2601.
47. Where materials containing asbestos are to be removed, demolition shall be carried out by a licensed contractor(s) that has a current SafeWork NSW accreditation in asbestos removal.
48. Removal of asbestos-based thermal, or acoustic insulation such as sprayed asbestos and asbestos-based lagging and including friable asbestos boards, shall be carried out in accordance with the National Occupational Health and Safety Commission's Code of Practice for the Safe Removal of Asbestos, 2<sup>nd</sup> Edition [NOHSC:2002 (2005)].
49. Hazardous and intractable waste, including all asbestos laden waste arising from the demolition process shall be removed and disposed of in accordance with the requirements of SafeWork NSW.
50. Documentary evidence, in the form of tip receipts from an approved Waste Management Facility, shall be obtained by the demolition contractor and submitted to the Land & Housing Corporation demonstrating the appropriate disposal of the asbestos waste.
51. Demolition procedures shall maximise the reuse and recycling of demolished materials in order to reduce the environmental impacts of waste disposal.
52. During demolition, the public footpath and the public road shall not be obstructed by any vehicles. The public road and footpath shall be swept (not hosed) clean of any material, including clay, soil and sand.
53. All vehicles leaving the site with demolition materials shall have their loads covered and vehicles shall not track soil and other material onto the public roads and footpaths. The footpath shall be suitably protected against damage when plant and vehicles access the site. All loading of vehicles with demolished materials shall occur on site.

### **Survey Reports**

54. Survey reports shall be submitted by the building contractor to the Land & Housing Corporation prior to the placement of the footings / slab and on completion of the dwellings to verify the correct position of the structures in relation to the allotment boundaries.

### **Hours of Demolition / Construction / Civil Work**

55. Demolition / construction / civil work shall only occur on the site between the hours of 7.00am to 5.00pm Monday to Saturday with no work permitted on Sundays or public holidays.

## **Excavation & Backfilling**

56. All excavations and backfilling associated with the demolition or erection of building(s) shall be executed safely and in accordance with appropriate professional standards. All such work shall be guarded and protected to prevent it from being dangerous to life or property.

## **Pollution Control**

57. Any noise generated during the carrying out of the activity shall not exceed the limits specified in the July 2009 Interim Construction Noise Guidelines published by the former Department of Environment and Climate Change.
58. No fires shall be lit, or waste materials burnt, on the site.
59. No washing of concrete forms or trucks shall occur on the site.
60. Any contamination / spills on the site during construction works shall be actively managed and reported immediately to the appropriate regulatory authorities to minimise any potential damage to the environment.
61. Dust generation during demolition / construction shall be controlled using regular control measures such as on site watering or damp cloth fences.
62. All vehicles transporting loose materials and travelling on public roads shall be secured (i.e. closed tail gate and covered) to minimise dust generation.
63. Non-recyclable waste and containers shall be regularly collected and disposed of at a licensed landfill or other disposal site in accordance with details set out in the final Waste Management Plan.

## **Impact of Construction Works**

64. The Land & Housing Corporation shall bear the cost of any necessary adjustments to utility mains and services.
65. Care shall be taken to prevent any damage to adjoining properties. The building contractor shall be liable to pay compensation to any adjoining owner if, due to demolition/construction works, damage is caused to such adjoining property.

## **Termite Protection**

66. To protect buildings from subterranean termite, termite barriers installed in accordance with AS 3660.1, shall be placed on the underside and in penetrations of the concrete slab floor.

In addition, a durable notice must be permanently fixed inside the meter box indicating:

- (a) the method of protection;
- (b) the date of installation of the system;
- (c) where a chemical barrier is used, its life expectancy as listed on the National Registration Authority label; and
- (d) the need to maintain and inspect the system on a regular basis.



## **PRIOR TO OCCUPATION OF THE DEVELOPMENT**

*The following identified requirements are to be complied with prior to the occupation of the development.*

### **General**

67. The occupation of the development shall not commence until all the Identified Requirements of this determination have been complied with.

### **Council Infrastructure Damage**

68. The cost of repairing any damage caused to Fairfield City Council's assets in the vicinity of the site as a result of demolition / construction works shall be met in full by the building contractor.

### **Stormwater Drainage**

69. Prior to occupation, a Work As Executed Plan shall be prepared by the building contractor clearly showing all aspects of the constructed stormwater drainage system, including any on-site detention system. The plan shall demonstrate general compliance with the approved concept stormwater drainage plan(s) and shall include:

- sufficient levels and dimensions to verify the constructed storage volumes; and
- location and surface levels of all pits; and
- invert levels of the internal drainage lines, orifice plates fitted and levels within the outlet control pits; and
- finished floor levels of all structures; and
- verification that any required trash screens have been installed; and
- locations and levels of any overland flow paths; and
- verification that any drainage lines are located wholly within easements, where applicable.

The Work-As-Executed Plan information shall be shown on the final civil works drawings.

A positive covenant and restriction-as-to-user shall be placed over the onsite detention system in accordance with Fairfield City Council's on-site detention policy to ensure that the system will be adequately maintained. The positive covenant and restriction-as-to-user shall be registered at NSW Land Registry Services prior to occupation. A copy of the registered restriction-as-to-user shall be provided to the Land & Housing Corporation and Fairfield City Council.

## **PART B – Additional Identified Requirements**

### **Site Specific Requirements**

70. The proposed development is to have a minimum finished floor level set above RL +8.4m AHD to provide adequate freeboard above the 1% Annual Exceedance Probability (AEP) flood event, as recommended by the Flood Review prepared by Greenview Consulting Pty Ltd, dated 30 March 2023.
71. All components used below the ground floor level are to be constructed using flood compatible materials as per the schedule contained in the Flood Review prepared by Greenview Consulting Pty Ltd, dated 30 March 2023. Prior to construction, a structural engineer is to confirm all materials below the flood planning level of RL +8.4m AHD meet these requirements.

- 72.** Prior to construction, a structural engineer is to confirm that the proposed construction is able to withstand the forces of floodwaters up to the ground floor level, including:
- a. Force from floodwater (flows);
  - b. Force from debris; and
  - c. Uplift forces due to buoyancy.
- 73.** Unit 1 is not to be an Adaptable Dwelling. Any reference to Unit 1 being an Adaptable Dwelling is to be deleted in the detailed construction documentation.

**Requirements Resulting from Council Comments**

- 74.** The full height vertical window to the first floor lobby which faces the southern side boundary is to be fitted with translucent glazing.

**Requirements Resulting from Adjoining Occupier Comments**

- 75.** A solid Colorbond metal panel fence to a height of 2.1m is to be provided adjacent to the bin holding bay. A metal roof at a height of 2.1m is to be provided over the bin holding bay. Vertical slatted metal screens to a height of 1.5m are to be provided on each side of the bin holding bay.

**ADVISORY NOTES**

- i. Approval of this development activity does not imply or infer compliance with Section 23 of the Disability Discrimination Act 1992. Refer to AS 1428.1 and the Building Code of Australia for detailed guidance.
- ii. Information regarding the location of underground services may be obtained from Dial Before You Dig at [www.1100.com.au](http://www.1100.com.au) or by dialling 1100.



Residential Housing Development  
13 Latty Street, Fairfield

DETERMINED by the NSW Land and Housing Corporation on:  
3 May 2023

*Handwritten signature*



Location Map

No. of Apt	Floor Level (Living)	Unique Apt ID	Room Name	9:00		9:30		10:00		10:30		11:00		11:30		12:00		12:30		1:00		1:30		2:00		2:30		3:00	Total Hours	≥ 3 hours sun to LIVING & P.O.S
1		Unit 1	LIVING	Y	0.5	Y	0.5	Y	0.5	Y	0.5	Y	0.5	Y	0.5	Y	0.5	Y	0.5	Y	0.5	Y	0.5	Y	0.5	Y	0.5	Y	6	Y
			P.O.S	Y	0.5	Y	0.5	Y	0.5	Y	0.5	Y	0.5	Y	0.5	Y	0.5	Y	0.5	Y	0.5	Y	0.5	Y	0.5	Y	0.5	Y	6	Y
2		Unit 2	LIVING	Y	0.5	Y	0.5	Y	0.5	Y	0.5	Y	0.5	Y	0.5	Y	0.5	Y	0.5	Y	0.5	Y	0.5	Y	0.5	Y	0.5	Y	6	Y
			P.O.S	Y	0.5	Y	0.5	Y	0.5	Y	0.5	Y	0.5	Y	0.5	Y	0.5	Y	0.5	Y	0.5	Y	0.5	Y	0.5	Y	0.5	Y	6	Y
3		Unit 3	LIVING	Y	0.5	Y	0.5	Y	0.5	Y	0.5	Y	0.5	Y	0.5	Y	0.5	Y	0.5	Y	0.5	Y	0.5	Y	0.5	Y	0.5	Y	6	Y
			P.O.S	Y	0.5	Y	0.5	Y	0.5	Y	0.5	Y	0.5	Y	0.5	Y	0.5	Y	0	N	0	N	0	N	0	N	0	N	3.5	Y
4		Unit 4	LIVING	Y	0.5	Y	0.5	Y	0.5	Y	0.5	Y	0.5	Y	0.5	Y	0.5	Y	0.5	Y	0.5	Y	0.5	Y	0.5	Y	0.5	Y	6	Y
			P.O.S	Y	0.5	Y	0.5	Y	0.5	Y	0.5	Y	0.5	Y	0.5	Y	0.5	Y	0.5	Y	0.5	Y	0.5	Y	0.5	Y	0.5	Y	6	Y

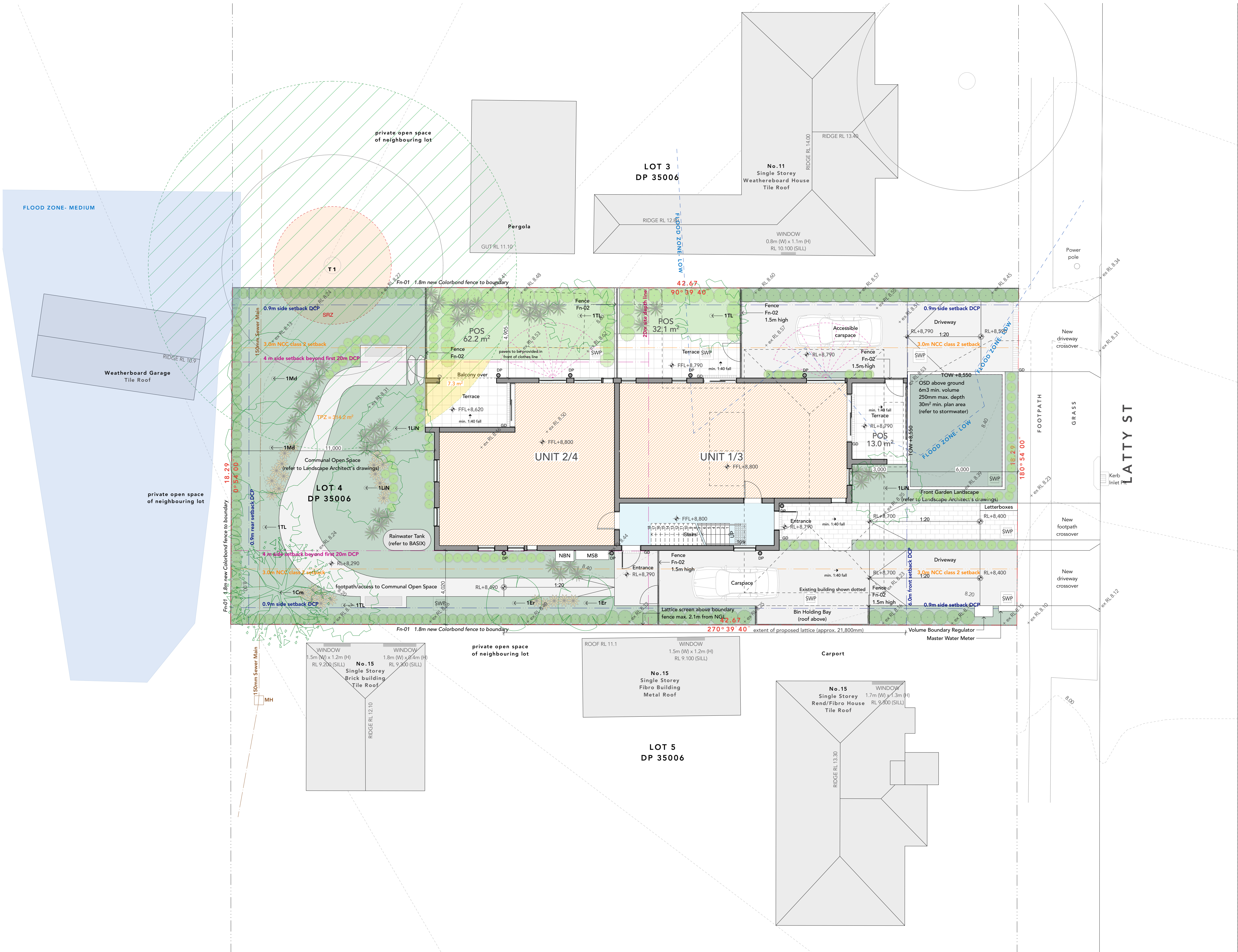
Total No. of Apts	4
≥ 3 hours sunlight	4
	100.0%

Living Area and Private Open Space (POS) Solar Access Table

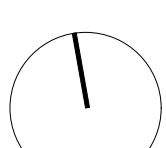
Fairfield - PROPOSED DEVELOPMENT DATA - GENERAL HOUSING						
Locality / Suburb	Fairfield					
Street Address	13 Latty Street					
Title description (Lot & DP)	Lot 4; DP 35006					
Site Area	780.3 m²					
Existing Lot	1					
Proposed GFA	330.5 m²					
Dwellings	4 (4 x 2-bed)					
	Number	Type	No of Bedrooms	Adaptable	Area (m²)	Private Open Space (m²)
	Unit 1	General	2 Bed	Adaptable	77.2	45.1 m²
	Unit 2	General	2 Bed	Silver Level	72.8	62.2 m²
	Unit 3	General	2 Bed		77.2	13.0 m²
	Unit 4	General	2 Bed		72.8	12.0 m²
Height	Control		Requirement		Proposed	
	Fairfield LEP 2013		9.0 m		8.3 m (at highest point of building)	
	Housing SEPP		9.0 m			
	Part 3B Codes SEPP		8.5 m			
FSR	Fairfield LEP 2013		0.45:1		0.44:1 (343.3m2 GFA)	
	Part 3B Codes SEPP		25% of lot area + 150m² to a max. of 400m²			
Setbacks	Part 3B Codes SEPP	Front Setback	Average of nearest two residential accommodation buildings within 40m			6.000m
		Side Setback	Within 10m of building line: min. 1.5m >10m behind the building line and > 4.5m in height: setback = $h$ - 3m $h$ is the height of part of building in metres			4.905m (North) 4.020m (South)
		Rear Setback	min. 10m			11.000m
Parking	Housing SEPP (accessible area)		4 x 0.5 (2-bed) = 2		2	
Private Open Space (POS)	LAHC Dwelling requirements		Ground - to exceed these min. dim. First - 10m² with min. dim. 2m		Ground - U1 (45.1m²), U2 (62.2m²) First - U3 (13.0m²), U4 (12.0m²)	
Landscaped Open Area	Part 3B Codes SEPP		50% of the lot area minus 100m² (min. 50% located behind building line) 25% of the area of forward of the building line to be landscaped min. dim. 1.5m x 1.5m		298.8m² (inc. 49.2m² at front)	
Deep Soil	SLUDG		15% of the site area (min. dim. 3m) with 2/3 located at the rear of the site		25% of the site area (200.6m²) with >2/3 located at rear (160.5m²)	
Solar Access	LAHC Dwelling requirements		Living areas and POS for 70% of dwellings in the development to receive min. 3 hours on June 21		100 % (4/4)	

Development Data Table





LEGEND	
F	Fridge
P	Pantry
M/O	Microwave/Oven
POS	Private Open Space
COS	Communal Open Space
Ldy	Laundry
Lw	Louvers (Exhaust)
SWP	Stormwater Pit
DP	Downpipe
TOW	Top of Wall



REV	DESCRIPTION	DRAWN	DATE	REV	DESCRIPTION	DRAWN	DATE
01	Stage B - Issues for Approval	PCL	22.02.22				
02	Part 5 Submission	PCL	13.05.22				
03	Part 5 Submission - Rev 2	PCL	27.10.22				

ALL LEVELS TO AUSTRALIAN HEIGHT DATUM.

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Project  
**13 Latty Street, Fairfield**  
**Lot 4 / DP 35006**

Title  
**Site Plan**

Job No.	2115	Draw No.	Rev.
Scale	1:100 @ A1	<b>A-100-</b>	<b>03</b>
Date	27.10.22	<b>001</b>	
Drawn/Checked	PDU/SR		





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Project  
**13 Latty Street, Fairfield**  
**Lot 4 / DP 35006**

Title  
**Block Analysis**

Job No. 2115

Scale 1:500 @ A1

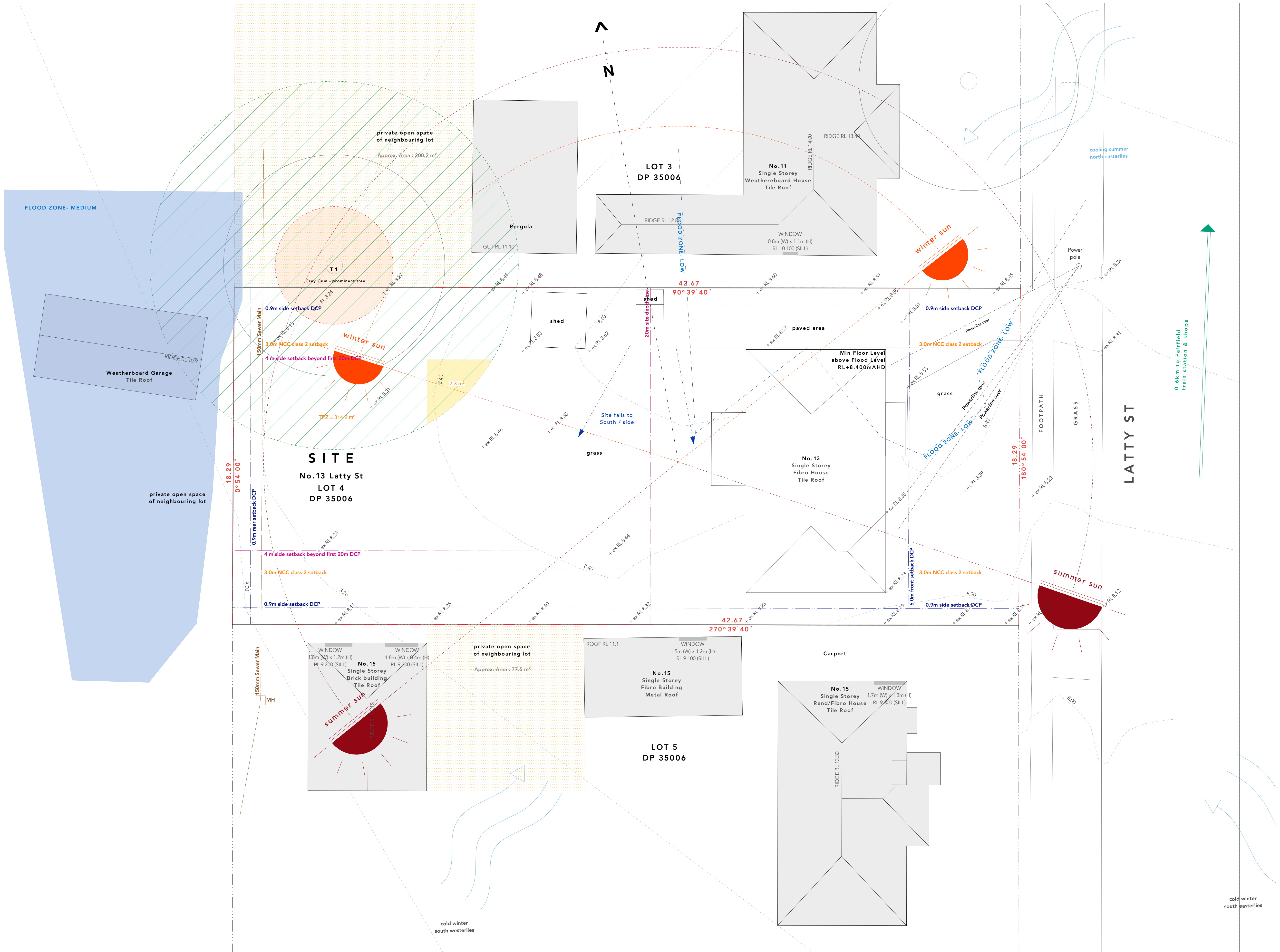
Date 27.10.22

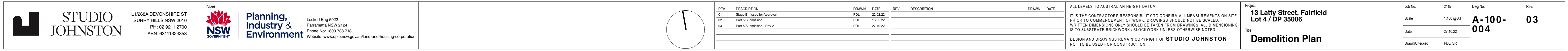
Drawn/Checked PDU/SR

Draw No. **A-100-002**

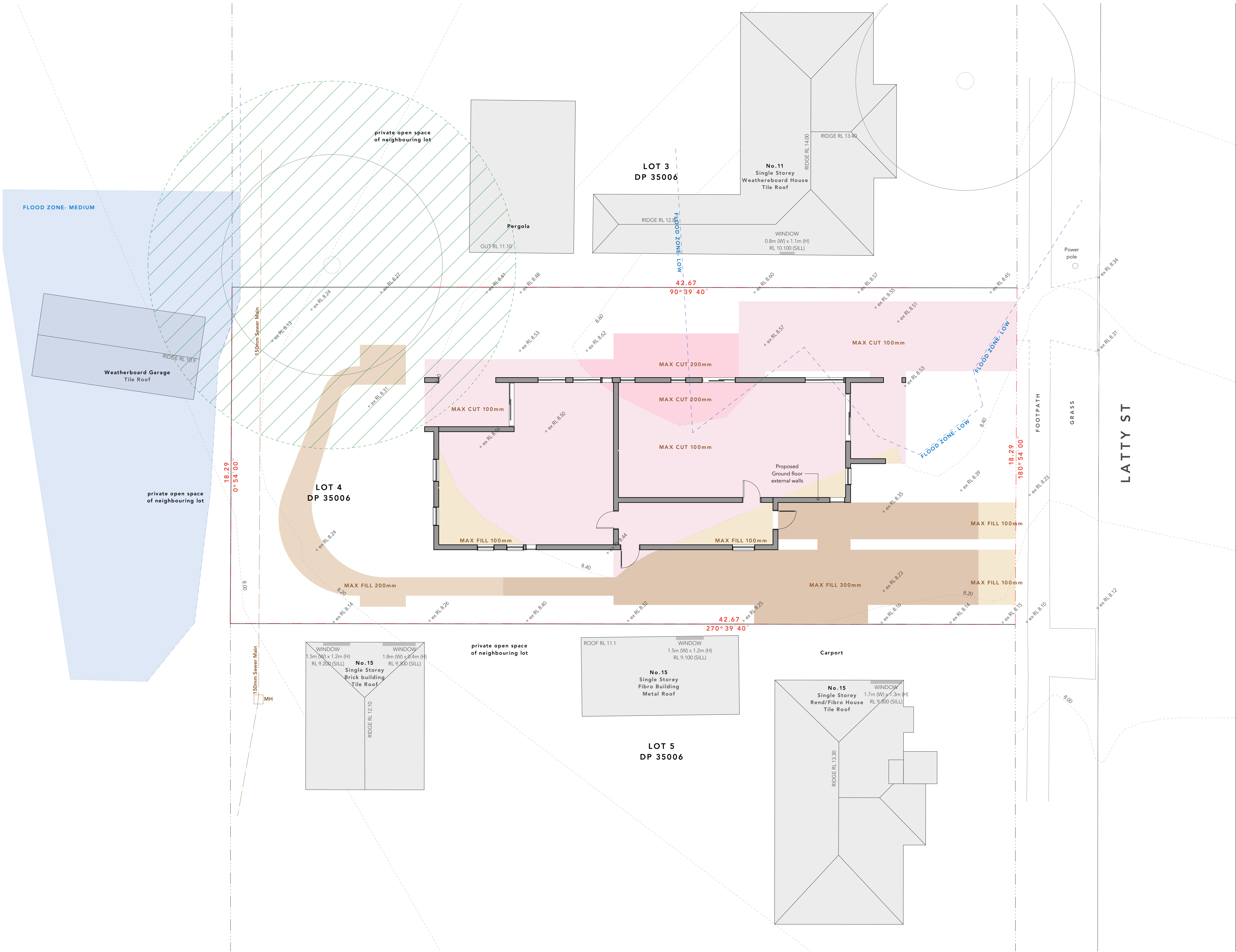
Rev. **03**





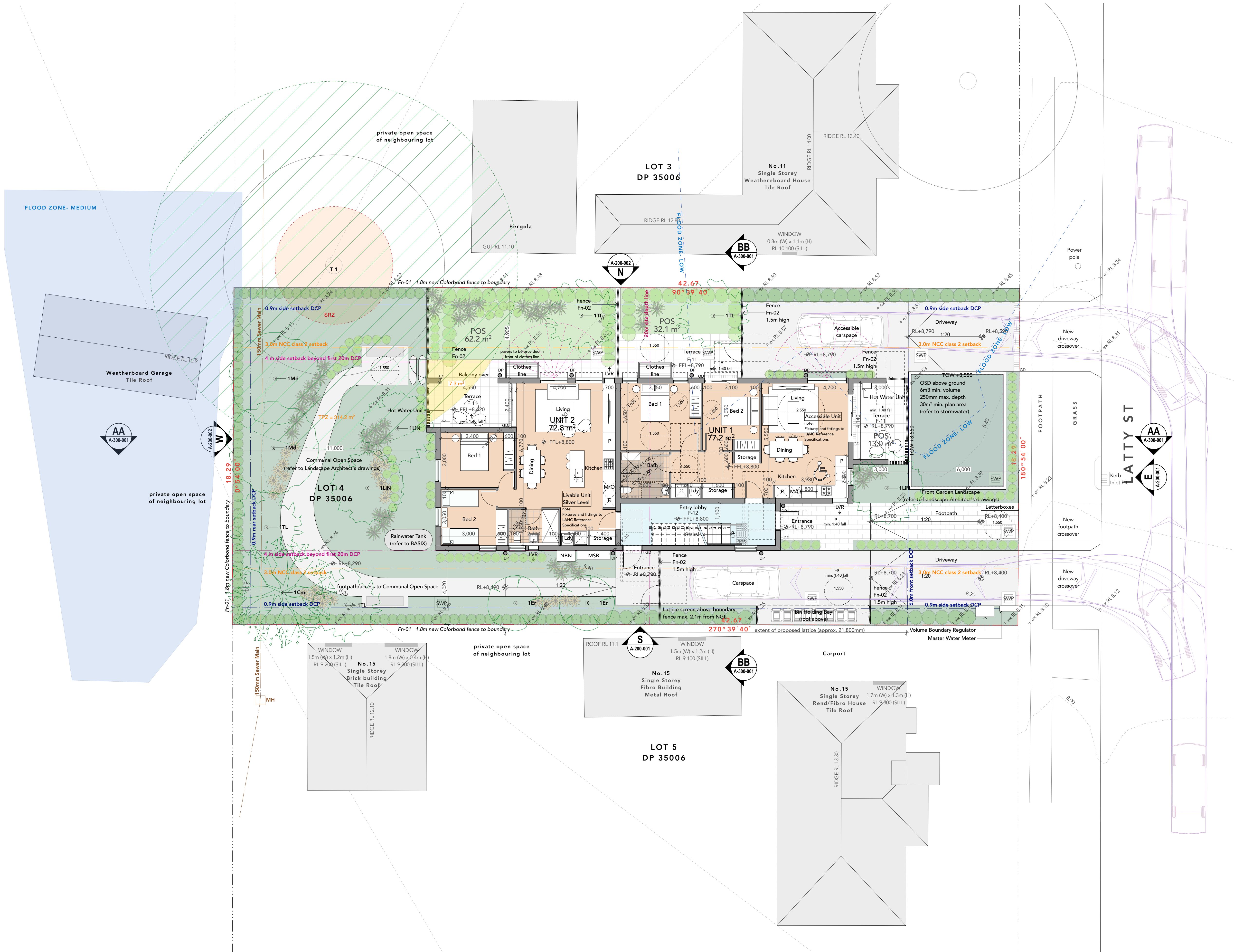




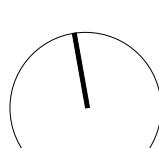




*John*



LEGEND	
F	Fridge
P	Pantry
M/O	Microwave/Oven
POS	Private Open Space
COS	Communal Open Space
Ldy	Laundry
LW	Louvers (Exhaust)
SWP	Stormwater Pit
DP	Downpipe
TOW	Top of Wall



REV	DESCRIPTION	DRAWN	DATE	REV	DESCRIPTION	DRAWN	DATE
01	Stage B - Issues for Approval	PCL	22.02.22				
02	Part 3 Submission	PCL	13.05.22				
03	Part 3 Submission - Rev 2	PCL	27.10.22				

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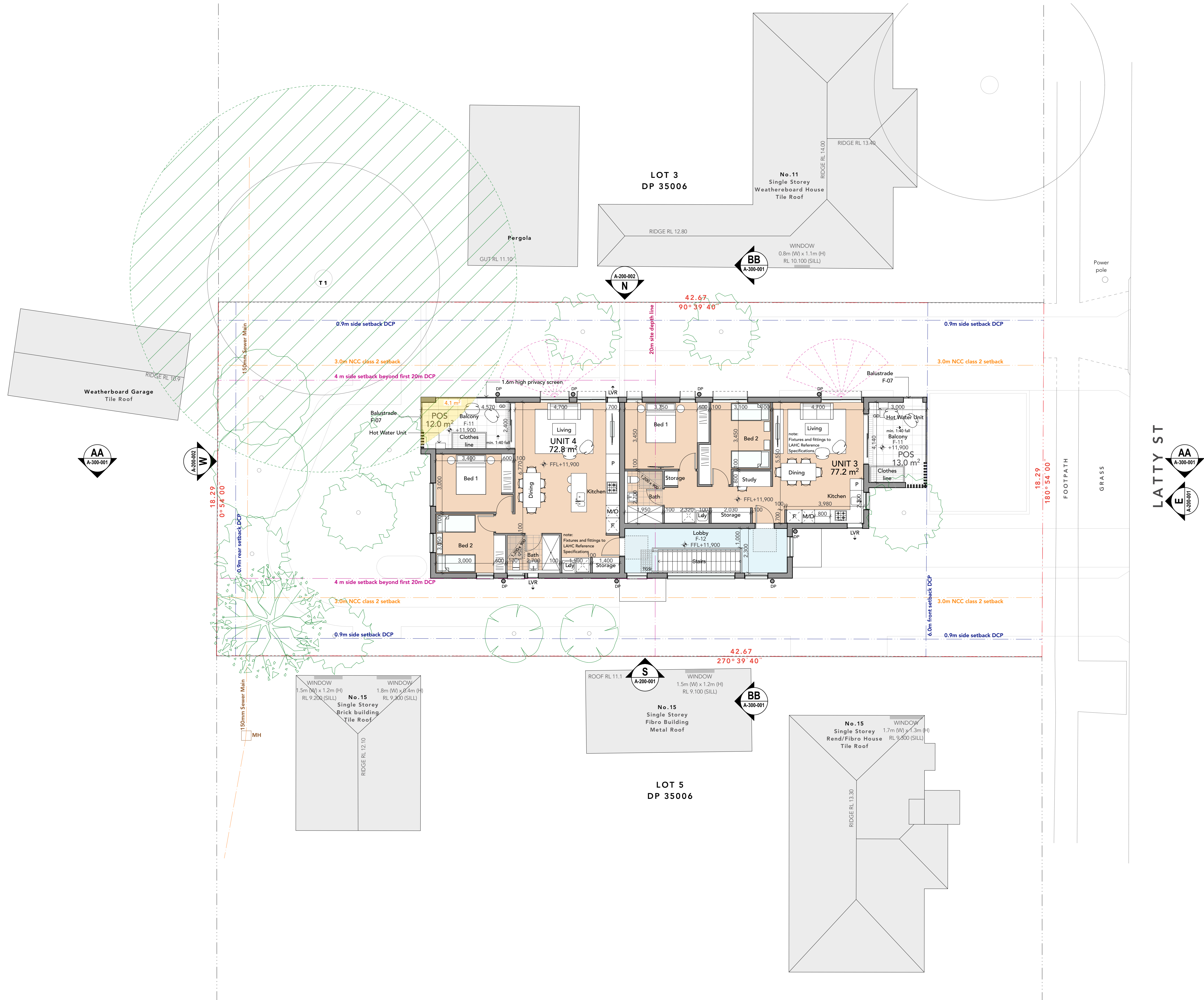
NOT TO BE USED FOR CONSTRUCTION

Project  
**13 Latty Street, Fairfield**  
**Lot 4 / DP 35006**

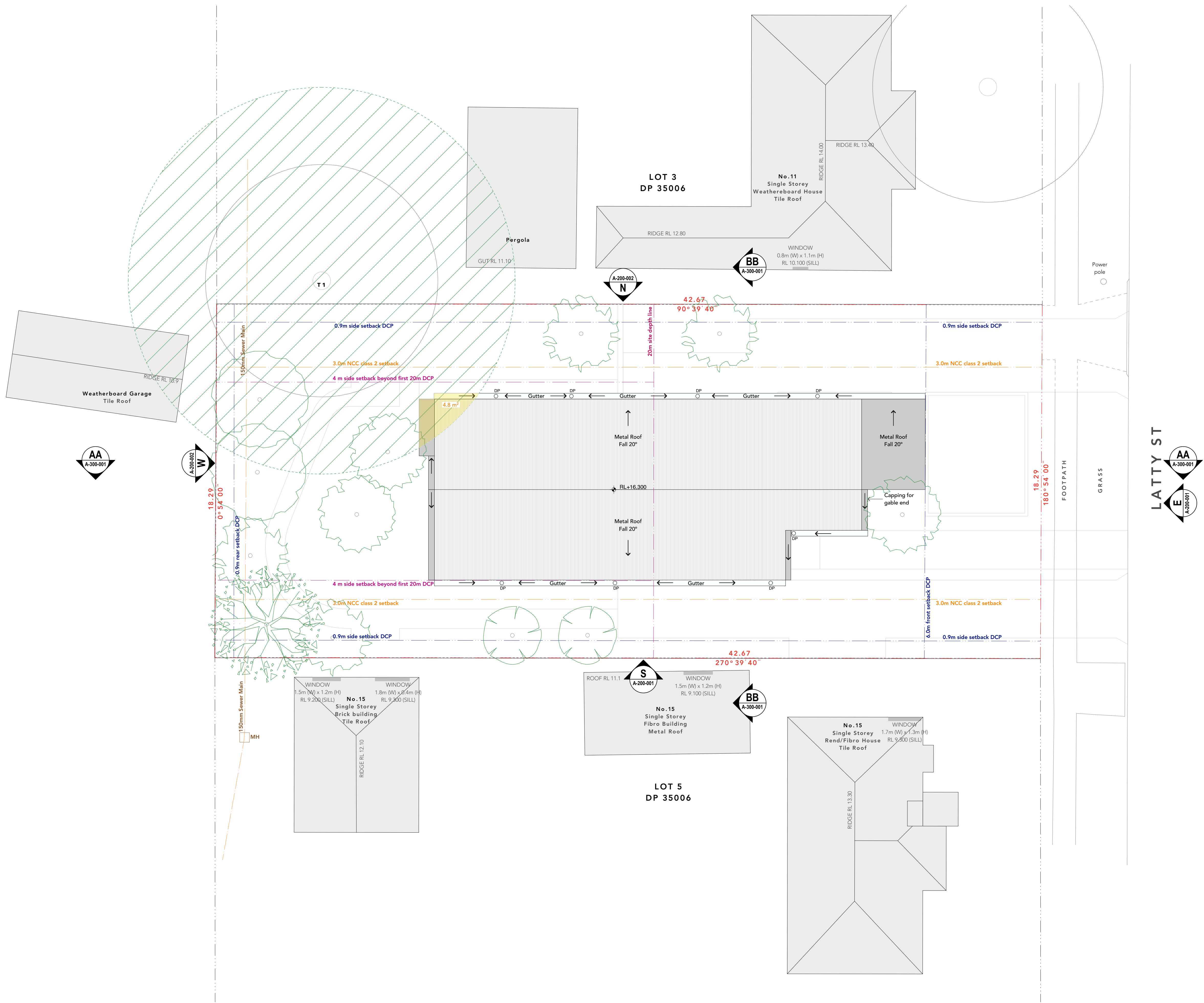
Title  
**Ground Level**

Job No.	2115	Rev.	
Scale	1:100 @ A1	<b>A - 110 - 001</b>	<b>03</b>
Date	27.10.22		
Drawn/Checked	PDU/SR		

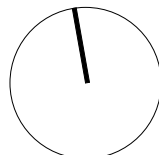




LEGEND	
F	Fridge
P	Pantry
M/O	Microwave/Oven
POS	Private Open Space
COS	Communal Open Space
Ldy	Laundry
LW	Louvers (Exhaust)
SWP	Stormwater Pit
DP	Downpipe
TOW	Top of Wall



LEGEND	
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POS	Private Open Space
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SWP	Stormwater Pit
DP	Downpipe
TOW	Top of Wall



REV	DESCRIPTION	DRAWN	DATE	REV	DESCRIPTION	DRAWN	DATE
01	Stage B - Issues for Approval	PCL	22.02.22				
02	Part 5 Submission	PCL	13.05.22				
03	Part 5 Submission - Rev 2	PCL	27.10.22				

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Project  
**13 Latty Street, Fairfield**  
**Lot 4 / DP 35006**

Title  
**Roof**

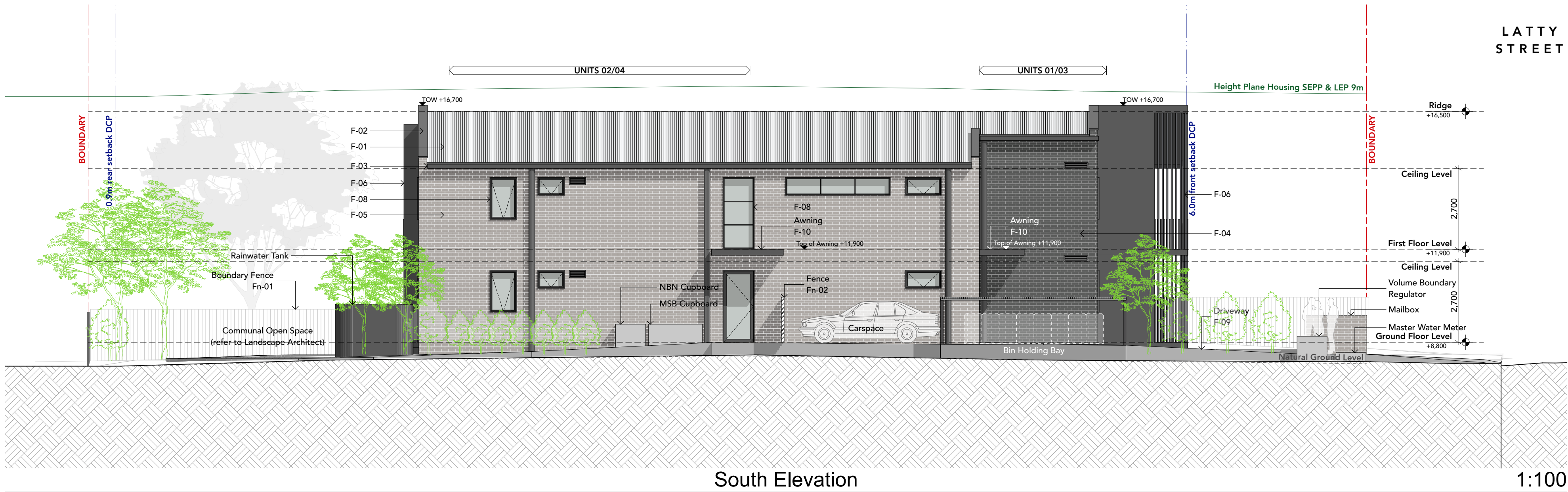
Job No.	2115
Scale	1:100 @ A1
Date	27.10.22
Drawn/Checked	PDU/SR

Drawn No.	2115
Rev.	03
<b>A - 110 - 003</b>	





LEGEND	
F	Fridge
P	Pantry
M/O	Microwave/Oven
POS	Private Open Space
COS	Communal Open Space
Ldy	Laundry
Lvr	Louvers (Exhaust)
SWP	Stormwater Pit
DP	Downpipe
TOW	Top of Wall



LEGEND				
Finishes & Materials				
F-01	Roofing		Metal Roof	Dulux Monument or similar
F-02	Capping		Colourbond	Dulux Monument or similar
F-03	Fascia, Gutter, Downpipe		Colourbond	Dulux Monument or similar
F-04	Walls		Face Brick	PGH Bricks Breeze or similar
F-05	Walls		Face Brick	PGH Bricks Zephyr or similar
F-06	Walls		Pre-finished FC Sheet	Cemintel Barestone Graphite or similar
F-07	Balustrade		Slatted Metal Balustrade	Dulux Monument or similar
F-08	Windows, Doors & Louvres		Powdercoated Aluminium	Dulux Monument or similar
F-09	Driveway		Concrete	Brushed finish
F-10	Awning		Powdercoated Aluminium	Dulux Monument or similar
F-11	Balcony/ Terrace		Outdoor Tiles	Mid Grey
F-12	Lobby/ Footpath		Tiles	Terracotta colour
Fence Type				
Fn-01	Boundary fence		Colorbond Metal Fence	Dulux Monument or similar
Fn-02	On-site/POS fence		Slatted Metal Fence	Dulux Monument or similar



*Johnston*



LEGEND	
F	Fridge
P	Pantry
M/O	Microwave/Oven
POS	Private Open Space
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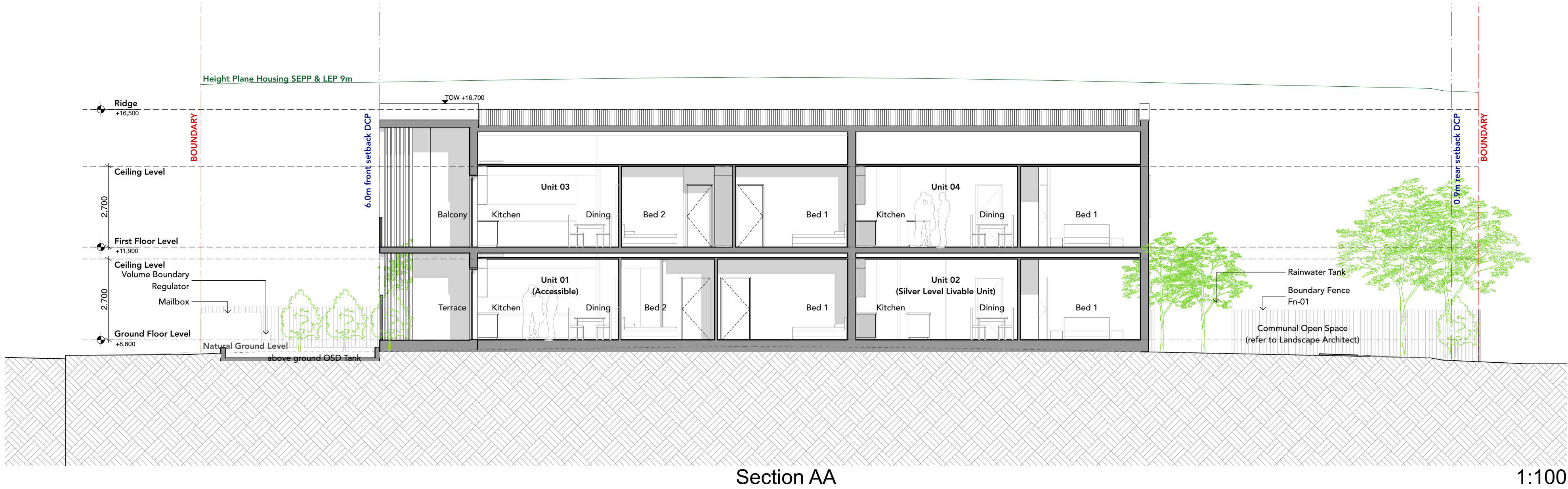
LEGEND

Finishes & Materials				
F-01	Roofing		Metal Roof	Dulux Monument or similar
F-02	Capping		Colourbond	Dulux Monument or similar
F-03	Fascia, Gutter, Downpipe		Colourbond	Dulux Monument or similar
F-04	Walls		Face Brick	PGH Bricks Breeze or similar
F-05	Walls		Face Brick	PGH Bricks Zephyr or similar
F-06	Walls		Pre-finished FC Sheet	Cemintel Barestone Graphite or similar
F-07	Balustrade		Slatted Metal Balustrade	Dulux Monument or similar
F-08	Windows, Doors & Louvres		Powdercoated Aluminium	Dulux Monument or similar
F-09	Driveway		Concrete	Brushed finish
F-10	Awning		Powdercoated Aluminium	Dulux Monument or similar
F-11	Balcony/ Terrace		Outdoor Tiles	Mid Grey
F-12	Lobby/ Footpath		Tiles	Terracotta colour

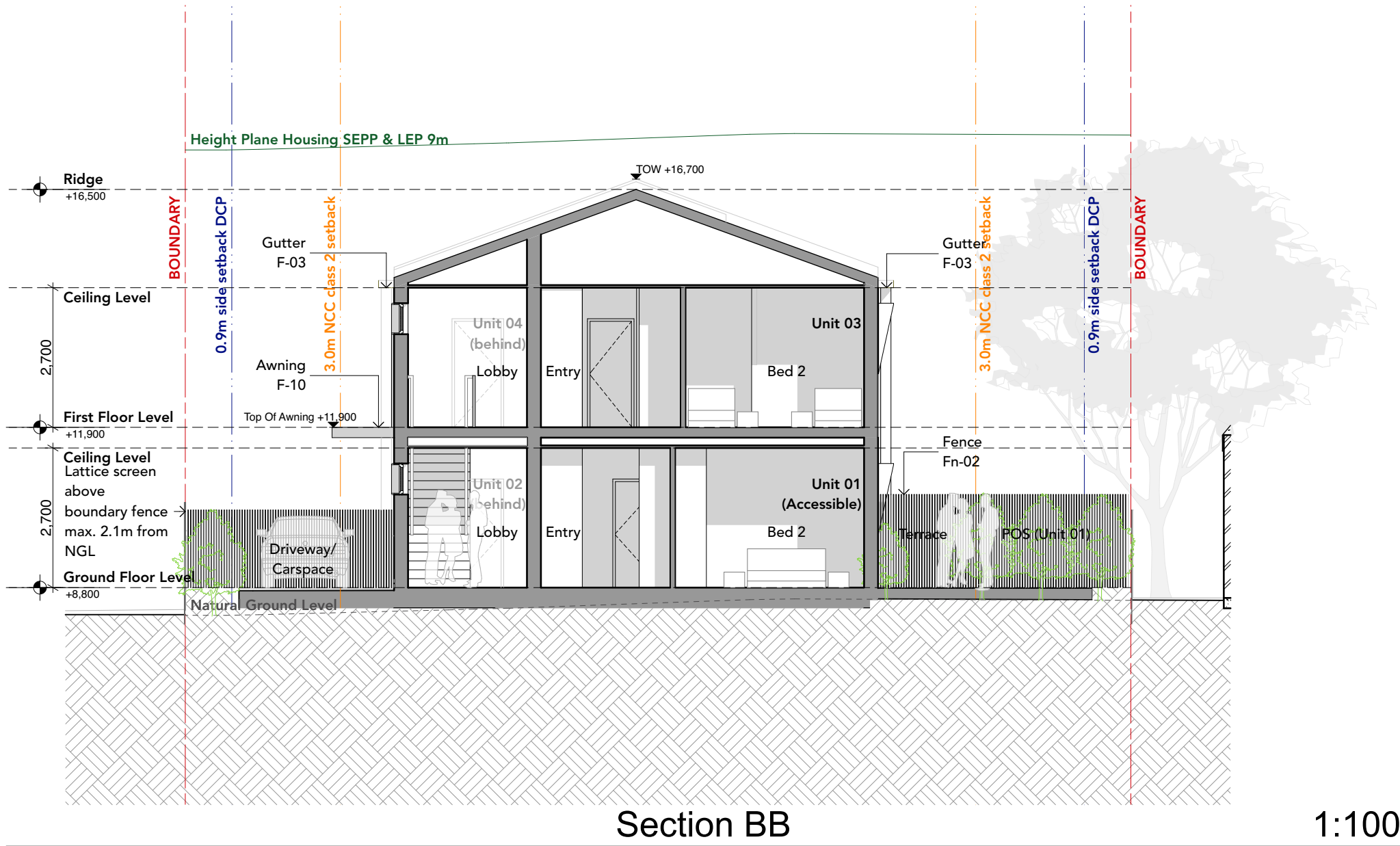
Fence Type

Fn-01	Boundary fence		Colorbond Metal Fence	Dulux Monument or similar
Fn-02	On-site/POS fence		Slatted Metal Fence	Dulux Monument or similar

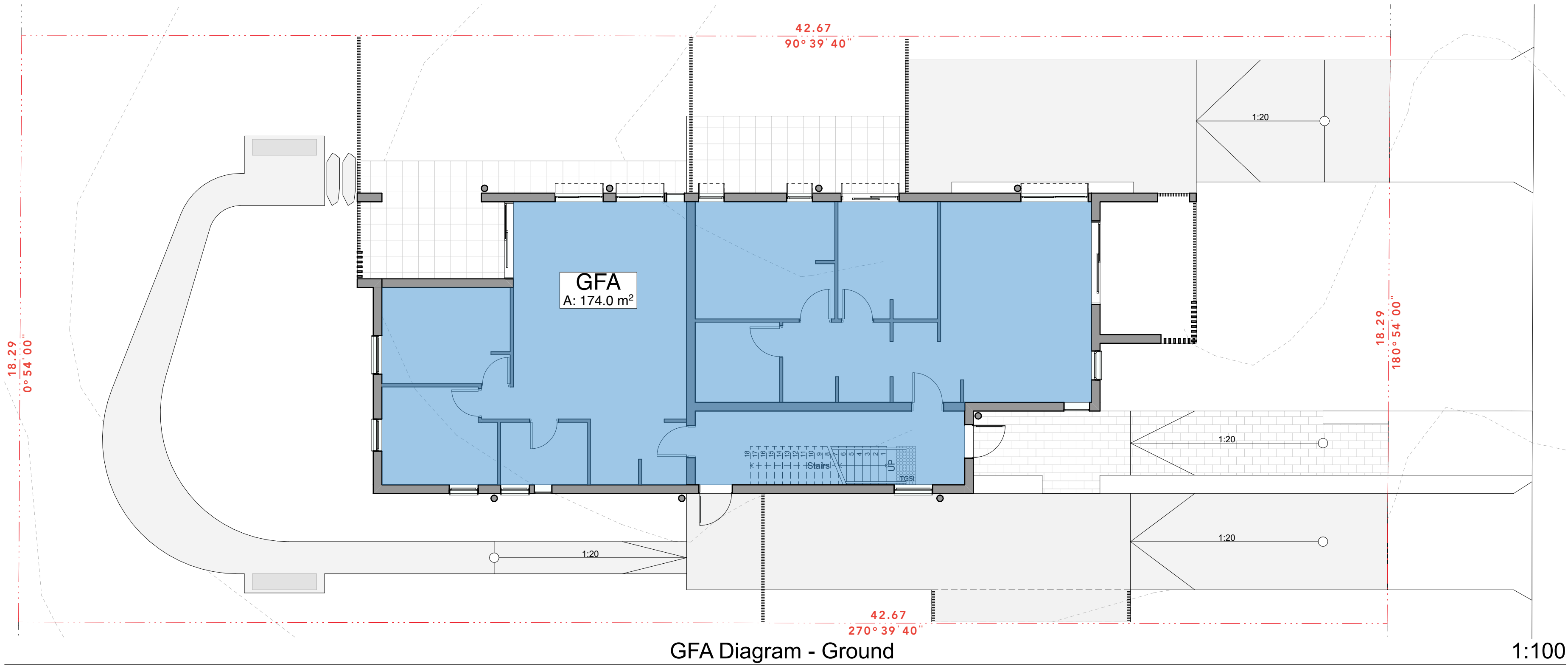
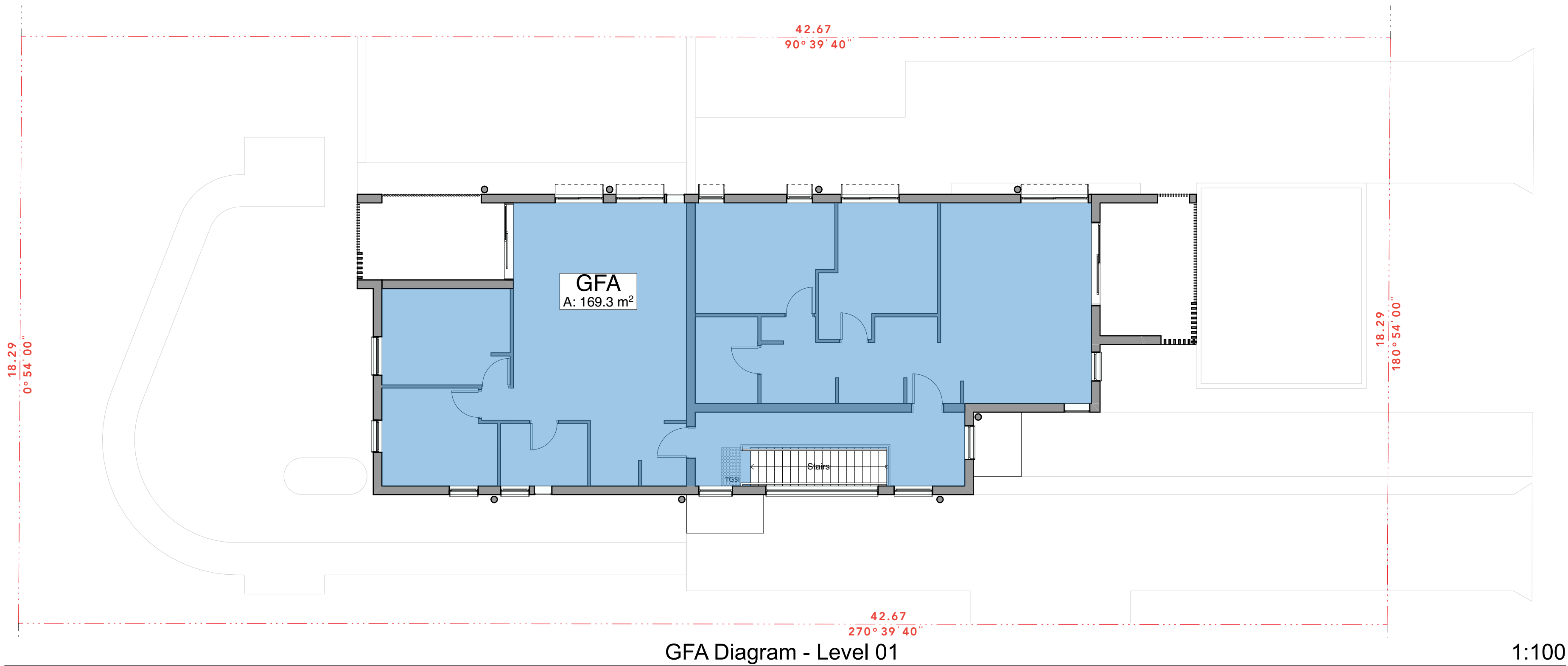




LEGEND	
F	Fridge
P	Pantry
M/O	Microwave/Oven
POS	Private Open Space
COS	Communal Open Space
Ldy	Laundry
Lvr	Louvers (Exhaust)
SWP	Stormwater Pit
DP	Downpipe
TOW	Top of Wall



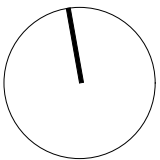
LEGEND				
Finishes & Materials				
F-01	Roofing		Metal Roof	Dulux Monument or similar
F-02	Capping		Colourbond	Dulux Monument or similar
F-03	Fascia, Gutter, Downpipe		Colourbond	Dulux Monument or similar
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Fence Type				
Fn-01	Boundary fence		Colorbond Metal Fence	Dulux Monument or similar
Fn-02	On-site/POS fence		Slatted Metal Fence	Dulux Monument or similar



SITE AREA - 780.3 m²

Level	Measured Area
Level 01	169.33
Ground	174.00
Total Gross Floor Area (GFA)	343.33 m²

Floor Space Ratio (FSR) - 0.44 : 1



REV	DESCRIPTION	DRAWN	DATE	REV	DESCRIPTION	DRAWN	DATE
01	Stage B - Issues for Approval	PCL	22.02.22				
02	Part 5 Submission	PCL	13.06.22				
03	Part 5 Submission - Rev 2	PCL	27.10.22				

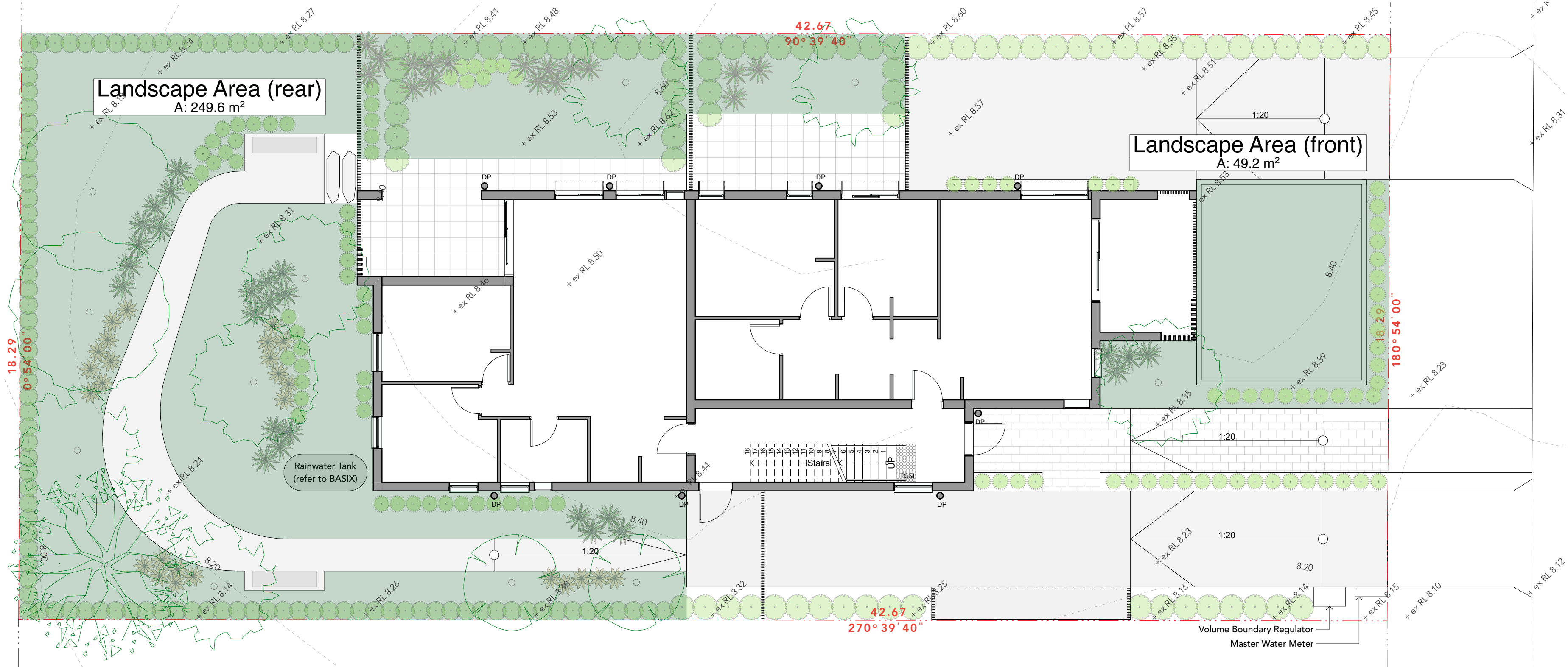
ALL LEVELS TO AUSTRALIAN HEIGHT DATUM.  
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Project  
**13 Latty Street, Fairfield**  
**Lot 4 / DP 35006**  
Title  
**GFA Diagrams**

Job No.	2115
Scale	1:100 @ A1
Date	27.10.22
Drawn/Checked	PCL/SR

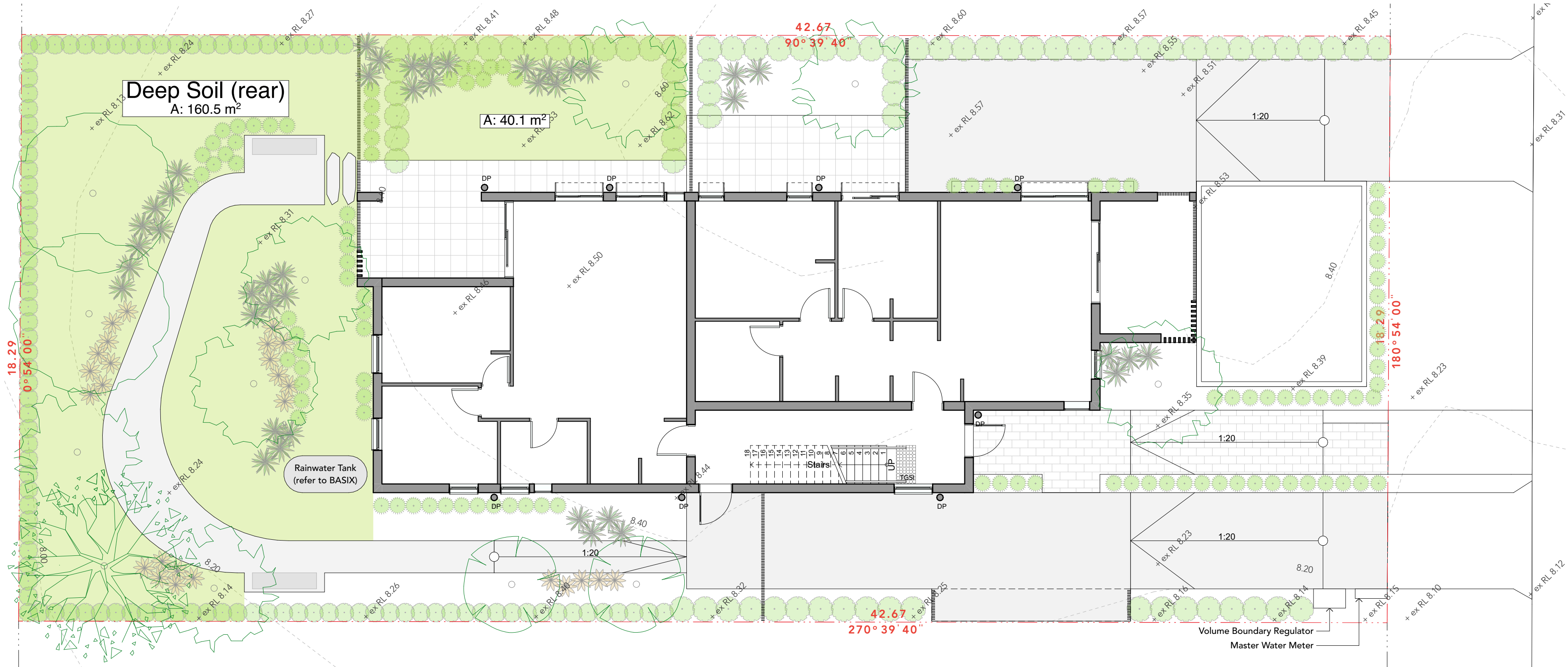
Draw No.	Rev.
<b>A-400-001</b>	<b>03</b>





SITE AREA - 780.3 m²

Level	Zone Name	Measured Area
Ground	Landscape Area (front)	49.19
Ground	Landscape Area (rear)	249.59
Total Landscaped Open Space		298.78 m²



SITE AREA - 780.3 m²

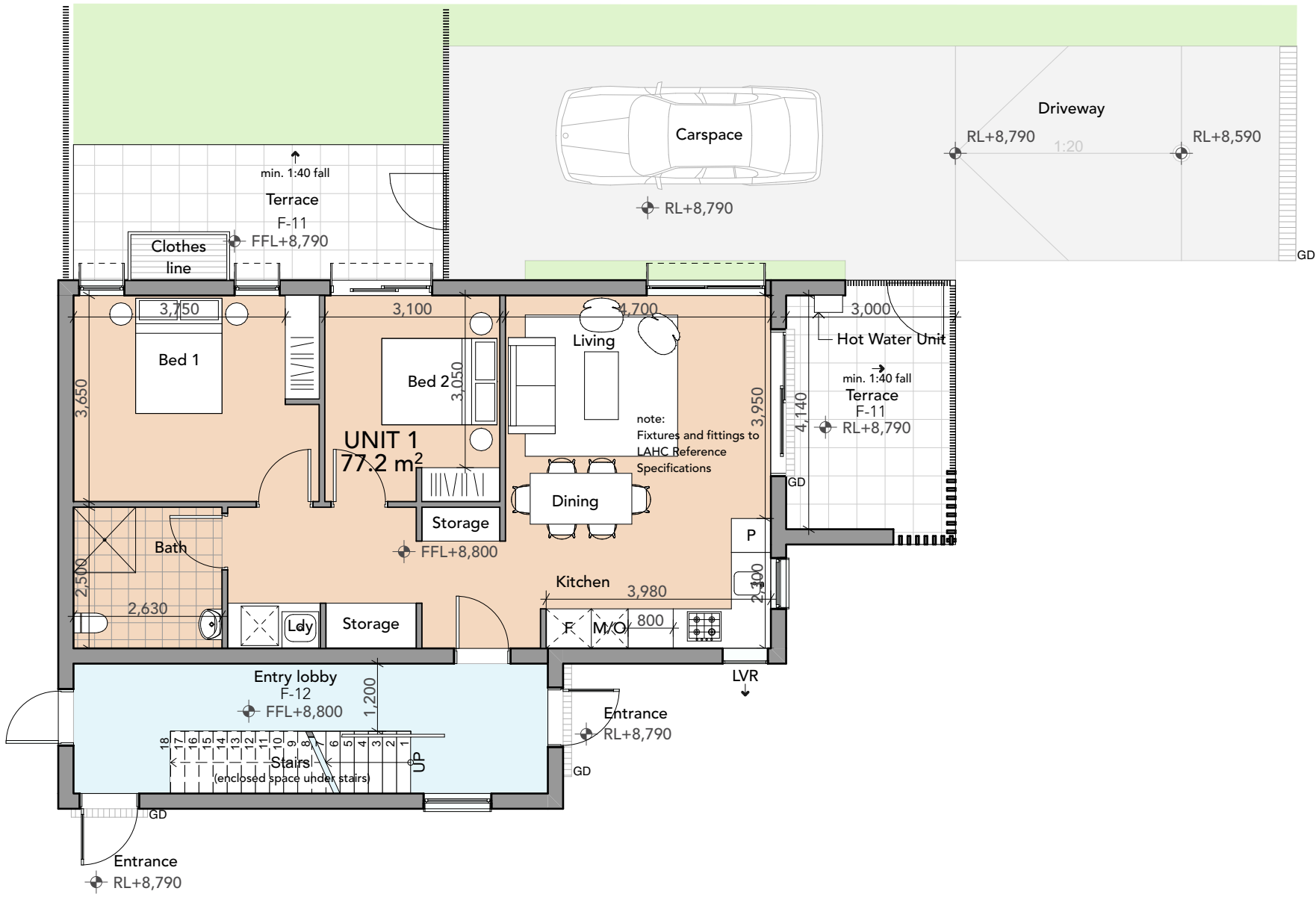
Level	Zone Name	Measured Area
Ground	Deep Soil	40.10
Ground	Deep Soil (rear)	160.54
		200.64 m²

Total Deep Soil Area

Total Deep Soil Area Percentage - 25% of Site Area  
including 80% (160.5m²) at rear

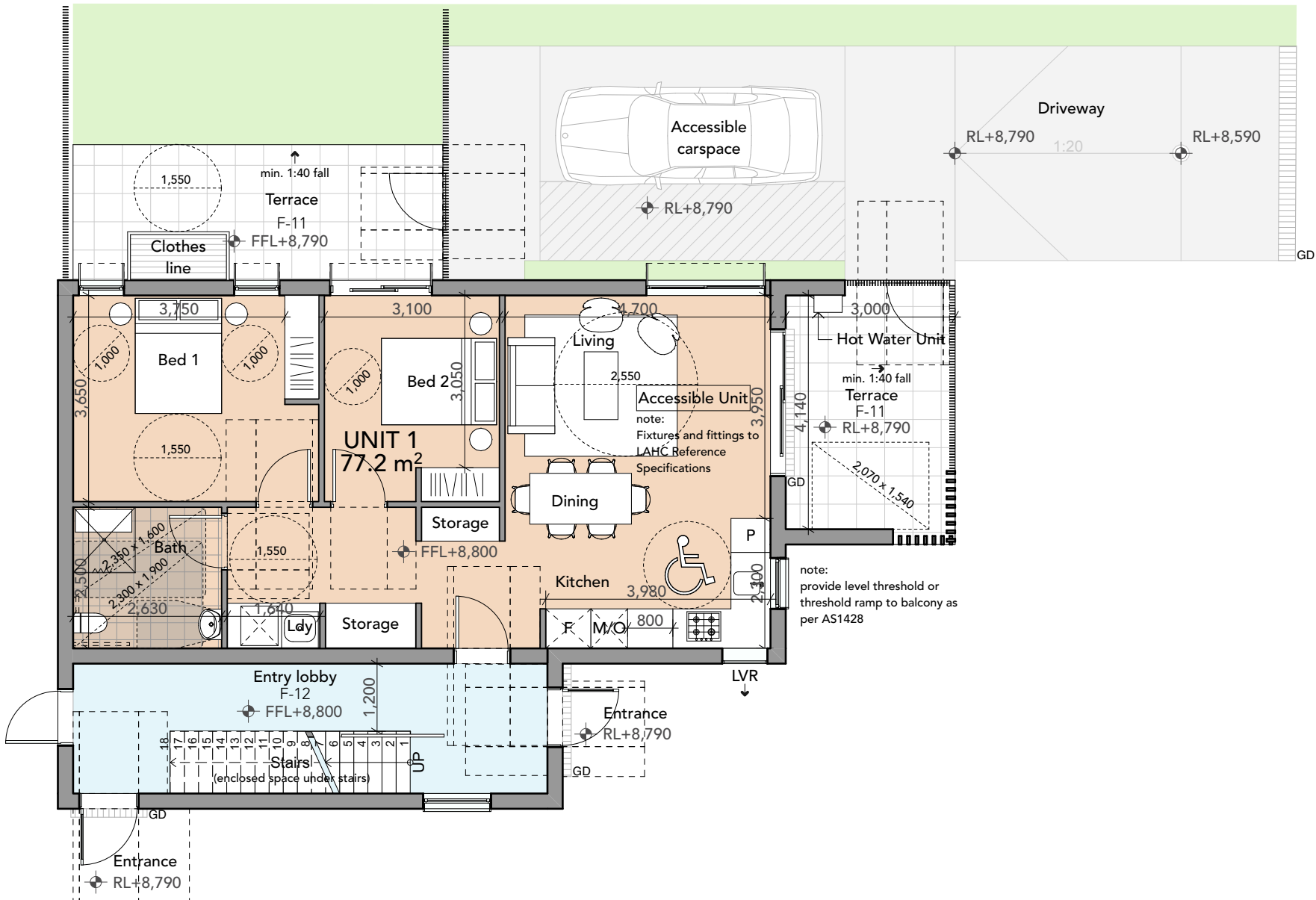


*Edith*



Pre-Adaptable

1:100



Post-Adaptable

1:100

LEGEND	
F	Fridge
P	Pantry
M/O	Microwave/Oven
POS	Private Open Space
COS	Communal Open Space
Ldy	Laundry
LW	Louvers (Exhaust)
SWP	Stormwater Pit
DP	Downpipe
TOW	Top of Wall

REV	DESCRIPTION	DRAWN	DATE	REV	DESCRIPTION	DRAWN	DATE
01	Stage B - Issues for Approval	PCL	22.02.22				
02	Part 5 Submission	PCL	13.05.22				
03	Part 5 Submission - Rev 2	PCL	27.10.22				

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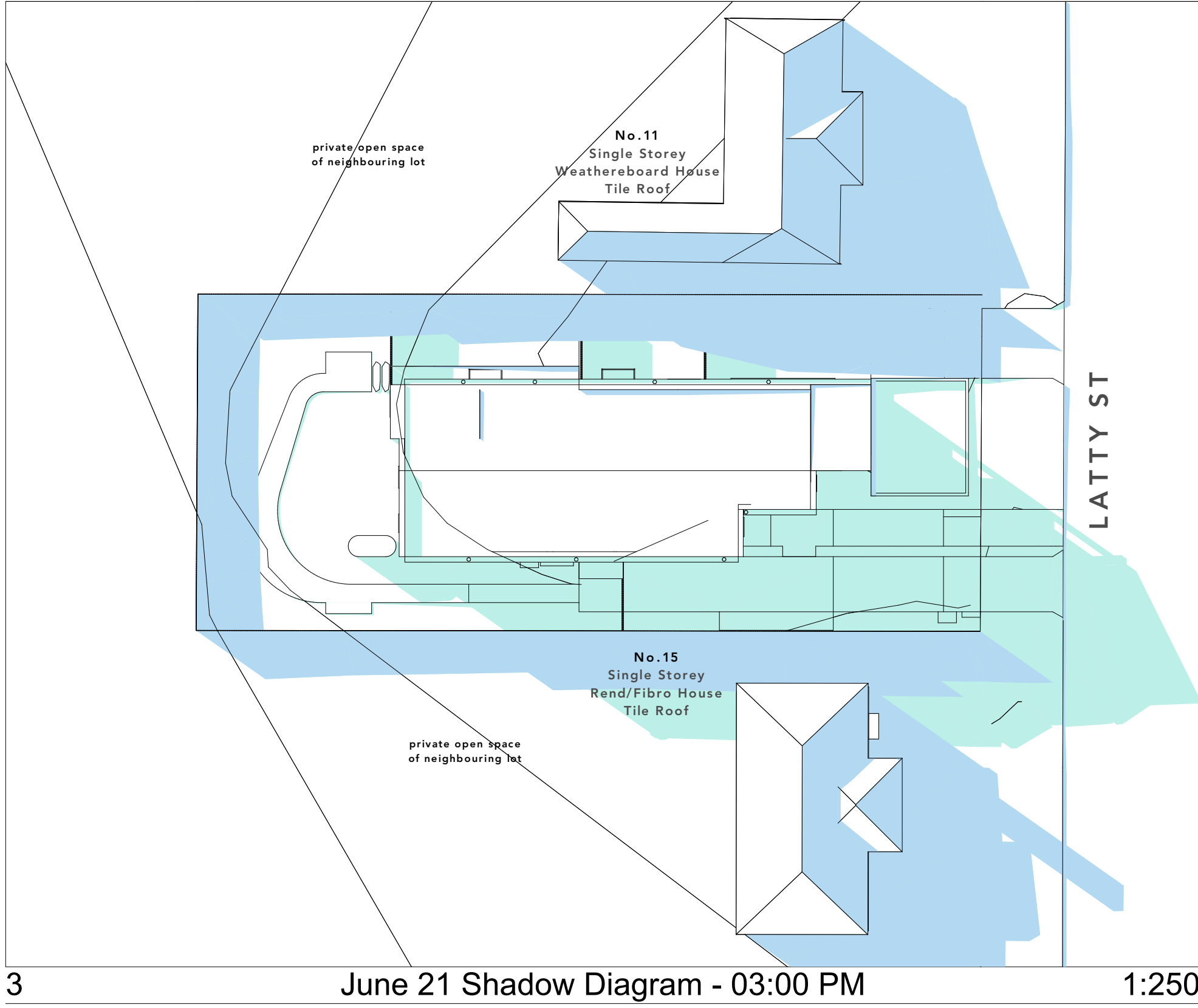
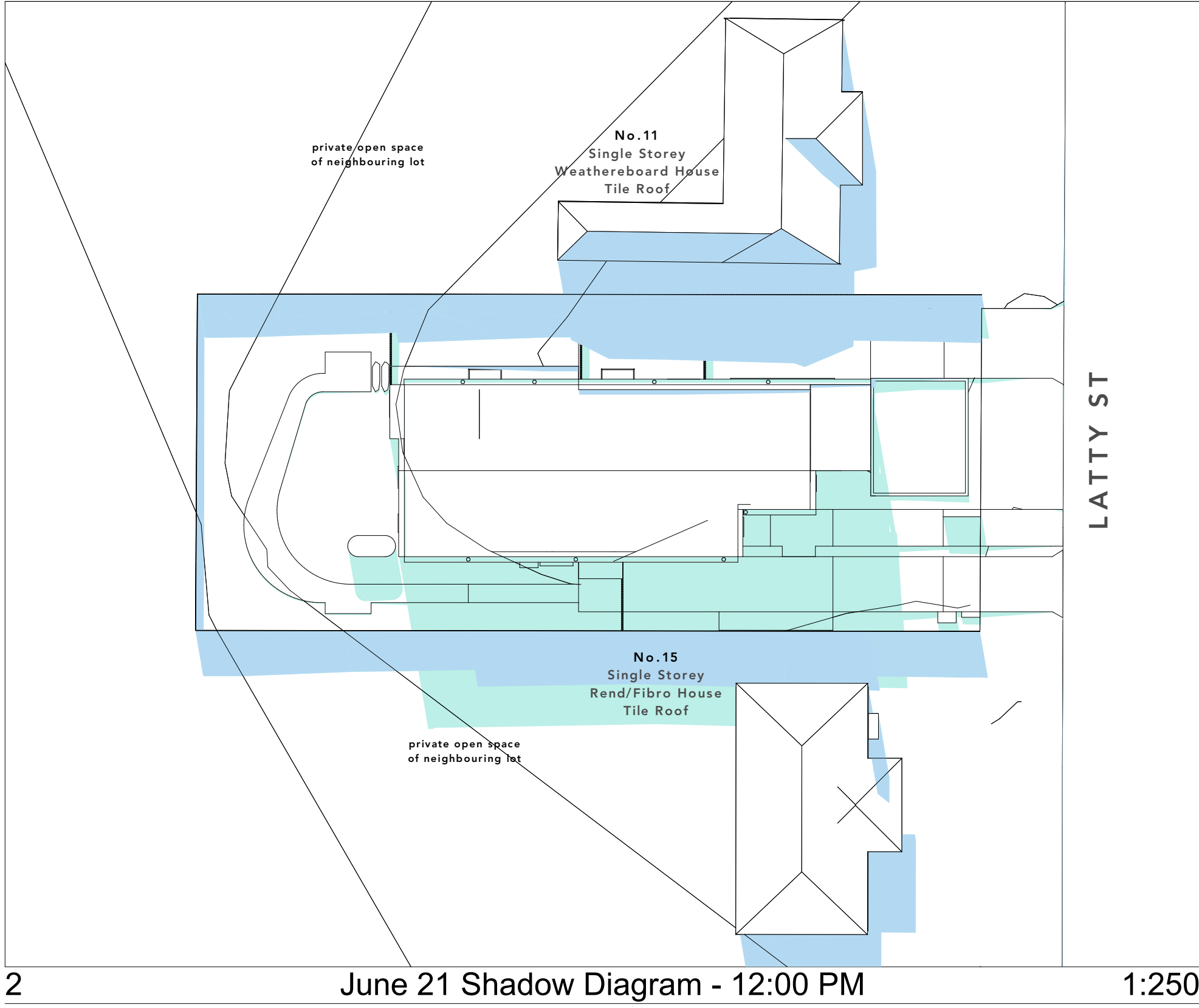
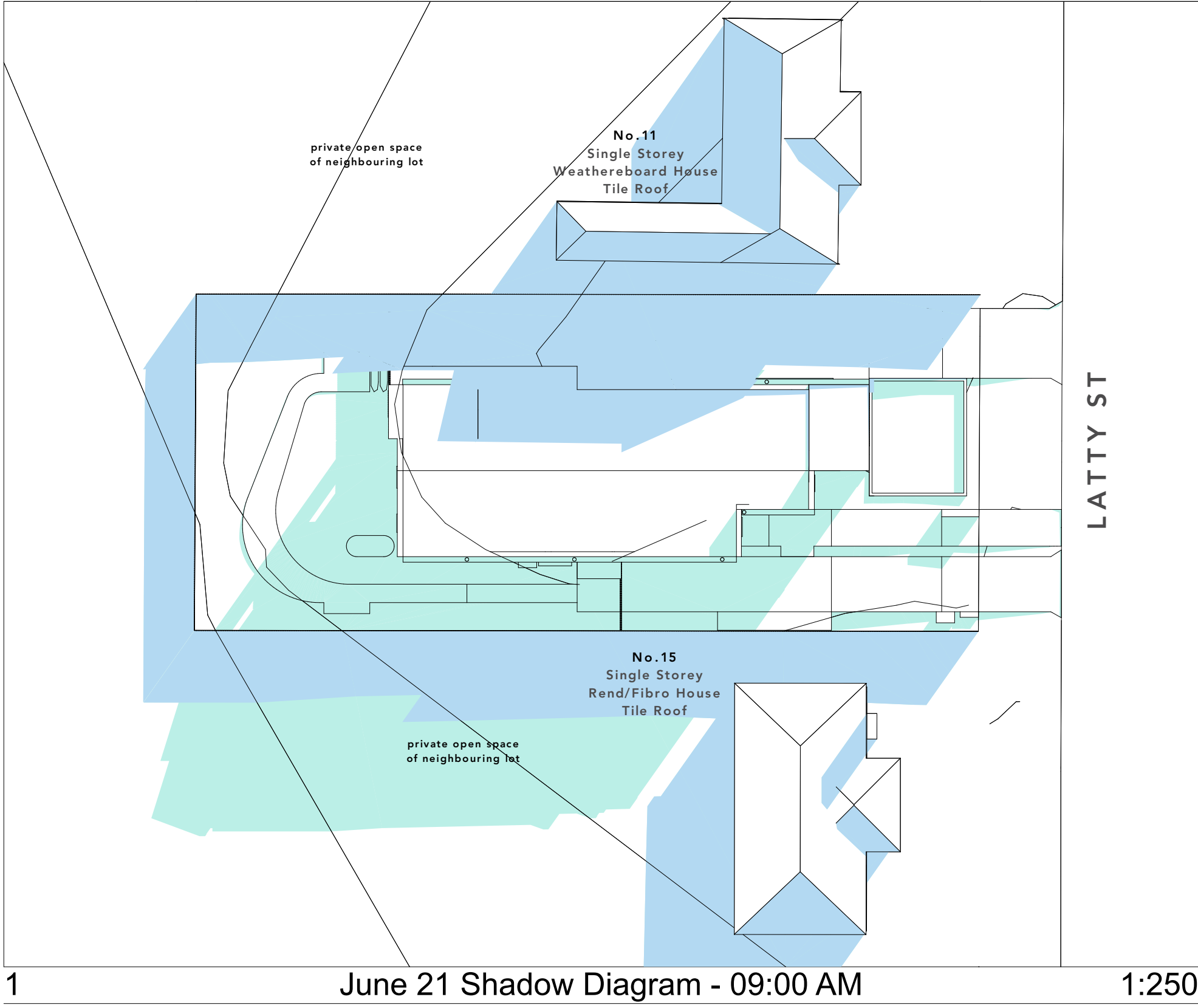
Project  
**13 Latty Street, Fairfield  
Lot 4 / DP 35006**

Title  
**Adaptable Unit**

Job No.	2115
Scale	1:100 @ A1
Date	27.10.22
Drawn/Checked	PDU/SR

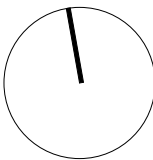
Drawn No.	Rev.
<b>A-420-0</b>	<b>03</b>
<b>01</b>	

*Heidi*



LEGEND

- Existing Shadow
- Proposed Shadow



REV	DESCRIPTION	DRAWN	DATE	REV	DESCRIPTION	DRAWN	DATE
01	Stage B - Issues for Approval	PDL	22.02.22				
02	Part 5 Submission	PDL	13.06.22				
03	Part 5 Submission - Rev 2	PDL	27.10.22				

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Project  
**13 Latty Street, Fairfield  
Lot 4 / DP 35006**  
Title  
**Shadow Diagrams**

Job No. 2115  
Scale 1:250 @ A1  
Date 27.10.22  
Drawn/Checked PDL/SR

Draw No. **A-700-001**  
Rev. **03**





8.00 AM



8.30 AM



9.00 AM



9.30 AM



10.00 AM



10.30 AM



11.00 AM



11.30 AM



12.00 PM





12.30 PM



1.00 PM



1.30 PM



2.00 PM



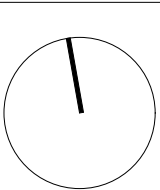
2.30 PM



3.00 PM



3.30 PM



REV	DESCRIPTION	DRAWN	DATE	REV	DESCRIPTION	DRAWN	DATE
01	Stage B - Issue for Approval	PCL	22.02.22				
02	Part 5 Submission	PCL	13.06.22				
03	Part 5 Submission - Rev 2	PCL	27.10.22				

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Project <b>13 Latty Street, Fairfield Lot 4 / DP 35006</b>	Job No. 2115	Draw No. A-710-002	Rev 03
Title <b>View from sun 21 June</b>	Scale @ A1	Date 27.10.22	
	Drawn/Checked PDL/SR		



*John*

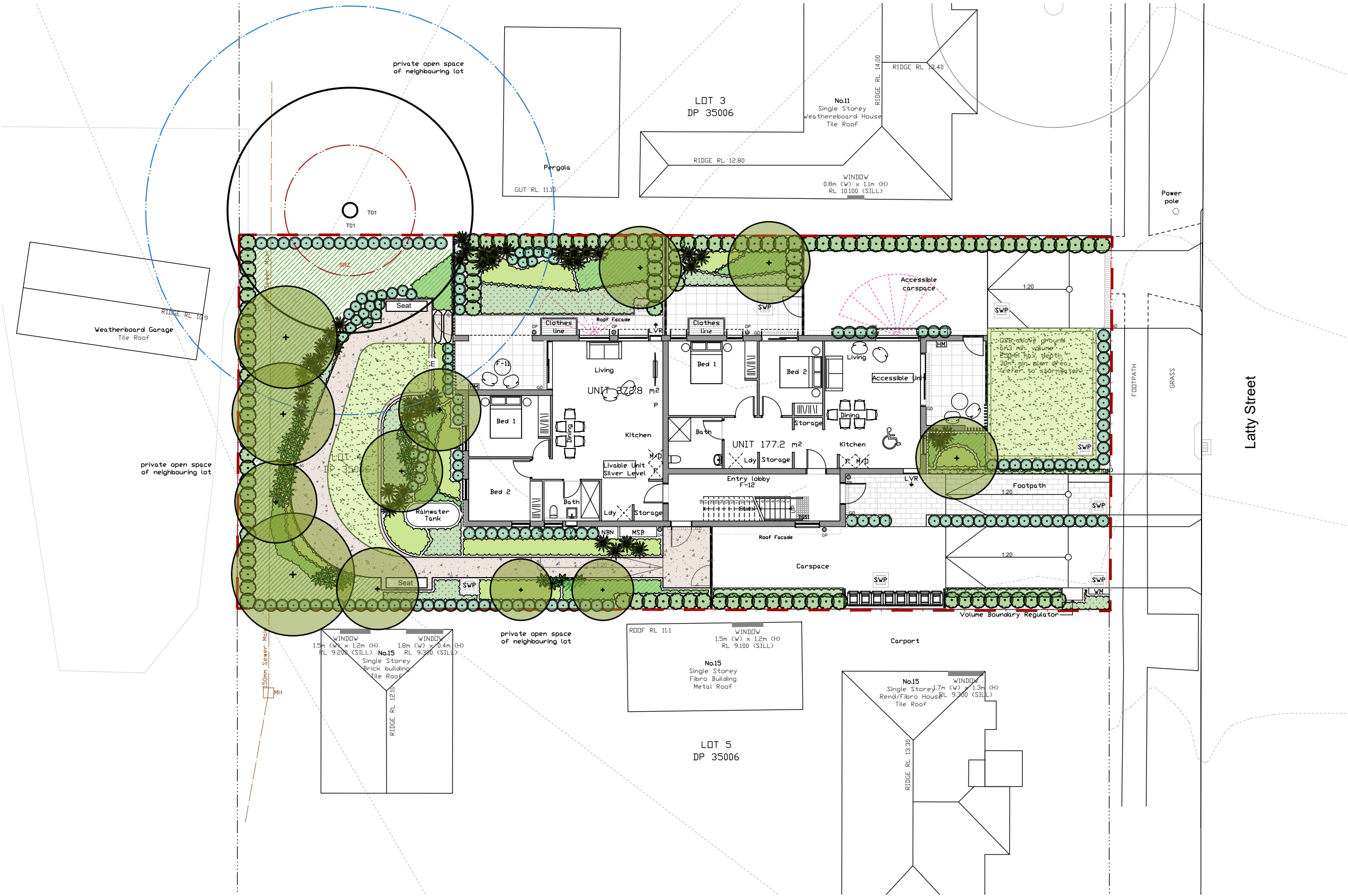
# 13 Latty Street, Fairfield - LAHC

## Landscape Development Application

### Drawing Schedule

Drawing Number	Drawing Title	Scale
000	Landscape Coversheet	N/A
100	Landscape Plan	1:100
500	Details and Specifications	N/A

PLANT SCHEDULE						
Symbol	Botanic Name	Common Name	Height x Width (m)	Pot Size	Spacing	Quantity
Trees						
Cm	<i>Corymbia maculata</i>	Spotted Gum	30 x 10	100L	As Shown	1
LiN	<i>Lagerstroemia indica x fauriei</i> 'Natchez'	White Crepe Myrtle	5 x 4	100L	As Shown	3
Md	<i>Melaleuca decora</i>	White Feather Honeymyrtle	6 x 4	75L	As Shown	2
TL	<i>Tristaniopsis 'Luscious'</i>	Water Gum	10 x 8	75L	As Shown	4
Er	<i>Elaeocarpus reticulatus</i> 'Prima Donna'	Blueberry ash	5 x 4	75L	As Shown	2
Shrubs / Accents						
ABP	<i>Anigozanthos 'Bush Pioneer'</i>	Kangaroo Paw	1.5 x 1	300mm	As Shown	21
ABR	<i>Anigozanthos 'Bush Ranger'</i>	Kangaroo Paw	0.6 x 0.5	300mm	As Shown	5
As	<i>Adenanthos sericeus</i>	Woolly bush	1.5 x 1.5	300mm	As Shown	70
AsM	<i>Acmena smithii</i> 'Minor'	Dwarf Lilly Pilly	3 x 2	300mm	As Shown	118
Ca	<i>Correa alba</i>	White Correa	1 x 1.5	300mm	As Shown	16
De	<i>Doryanthes excelsa</i>	Gymea Lily	2 x 2	300mm	As Shown	39
Ec	<i>Echium candicans</i>	Pride of Madeira	1.5 x 1.5	300mm	As Shown	14
Wf	<i>Westringia fruticosa</i> 'Aussie Box'	Coastal Rosemary	0.7 x 0.7	300mm	As Shown	81
Groundcovers/ Grasses						
Dg	<i>Dietes grandiflora</i>	African iris	1.2 x 1.2	150mm	5/m2	13
Dr	<i>Dichondra repens</i>	Kindney Weed	0.2 x 1.5	150mm	5/m2	79
Hs	<i>Hibbertia scandens</i>	Golden Guinea Flower	0.2 x 1.5	150mm	5/m2	54
LI	<i>Lomandra longifolia</i>	Mat Rush	0.7 x 1	150mm	5/m2	16
LIT	<i>Lomandra longifolia</i> 'Tanika'	Mat Rush 'Tanika'	0.7 x 1	150mm	5/m2	59
Mp	<i>Myoporum parvifolium</i>	Broad leaf form	0.2 x 1.5	150mm	3/m2	37
PN	<i>Pennisetum 'Nanfray'</i>	Swamp Grass	0.6 x 0.6	150mm	5/m2	55
LEG	<i>Liriope muscari</i> 'Evergreen Giant'	Liriope	0.7 x 0.7	150mm	5/m2	79
Low Water Use Planting Matrix						
Dr	<i>Dichondra repens</i>	Kindney Weed	0.2 x 1.5	150mm	5/m2	50
LI	<i>Lomandra longifolia</i>	Mat Rush	0.7 x 1	150mm	5/m2	50
LmM	<i>Lomandra multiflora</i> ssp. <i>Multiflora</i>	Many-flowered Mat-rush	0.3 x 0.9	150mm	5/m2	50
Ju	<i>Juncus usitatus</i>	Common Rush	0.5 x 0.5	150mm	5/m2	50
TM	<i>Themeda 'Mingo'</i>	Kangaroo Grass	0.5 x 0.5	150mm	5/m2	50



Site Plan | 1:200

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Issue	Revision Description	Drawn	Check	Date
F	Architecture Coordination	SJ	CK	25.10.2022
E	Architecture Coordination	SJ	CK	17.10.2022
D	Updated Submission	SJ	SB	13.05.2022
C	Updated Submission	SJ	SB	13.05.2022
B	Final Issue for Development Application	JR	SB	05.05.2022
A	Issue for Development Application	JR	SB	15.02.2022

### Legend

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Client  
**LAHC**

Project  
**13 Latty St - Fairfield**

Drawing Name  
**Coversheet**

### DEVELOPMENT APPLICATION

Scale  
Job Number  
**SS22-4856**

Drawing Number  
Issue  
**000 F**




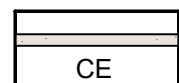
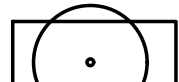

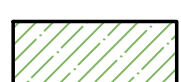
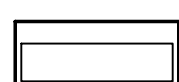





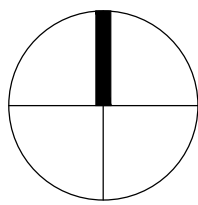
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E	Architecture Coordination	SJ	CK	25.10.2022
D	Architecture Coordination	SJ	CK	17.10.2022
C	Updated Submission	SJ	SB	13.05.2022
B	Final Issue for Development Application	JR	SB	05.05.2022
A	Issue for Development Application	JR	SB	15.02.2022
Issue	Revision Description	Drawn	Check	Date

 Site Boundary	 SRZ	 Proposed Grasses and Groundcovers	 Proposed Concrete Edge
 Existing Trees to be retained	 Proposed trees	 Low Water Use Matrix	 Proposed Seats
 TPZ	 Proposed Shrubs and Accents	 Proposed Concrete Pavement (Refer to Architects Drawings for other pavement types)	



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Project  
**13 Latty St - Fairfield**

Drawing Name  
**Landscape Plan**

DEVELOPMENT APPLICATION

Scale  
Job Number  
**SS22-4856**  
Drawing Number  
Issue  
**100 E**










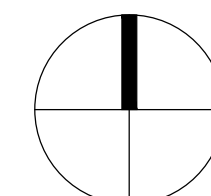
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The contractor shall check and verify all work on site (including work by others) before commencing the landscape installation. Any discrepancies are to be reported to the Project Manager or Landscape Architect prior to commencing work. Do not scale this drawing. Any required dimensions not shown shall be referred to the Landscape Architect for confirmation.

SJ	CK	28.10.2022
SJ	CK	25.10.2022
SJ	CK	17.10.2022
JR	SB	15.02.2022
Drawn	Check	Date

**Legend**

	Low Water Use Plants (Communal Area) - Fairfield Coucil BASIX List Area = 53.47m <sup>2</sup>
	Low Water Use Plants (Common Area) - Native but not in Council List Area = 107.06m <sup>2</sup>
	Low Water Use Plants (Private Garden Areas) - Native but not in Council List Culmulative Area = 55.45m <sup>2</sup>
	Medium Water Use Plants - Native and Non-Native Mix Culmulative Area = 51.35m <sup>2</sup>

 Lawn Area = 57.79m<sup>2</sup>

Client  
LAHC


Project  
13 Latty St - Fairfield

Drawing Name  
**Basix Calculation Plan**

## DEVELOPMENT APPLICATION

Scale 1:100 @ A1

Job Number      Drawing Number      Issue





## 500 E





# CIVIL DESIGN

## FOR PROPOSED DEVELOPMENT AT

### 13 Latty Street, Fairfield, NSW

#### GENERAL NOTES

- ALL WORKS SHALL BE CARRIED OUT IN ACCORDANCE WITH THE NOMINATED OR APPLICABLE COUNCIL SPECIFICATION.
- THE CONTRACTOR SHOULD REPORT ANY DISCREPANCIES ON THE DRAWINGS TO THE ENGINEER RESPONSIBLE FOR THE DESIGN.
- IT IS THE RESPONSIBILITY OF THE TENDERER TO SEEK CLARIFICATION WHERE DOCUMENTATION IS CONFLICTING OR UNCLEAR. WHERE NO CLARITY IS OBTAINED, THE TENDERER IS TO ALLOW FOR BOTH INTERPRETATIONS IN THEIR PRICING.
- CONTRACTOR IS NOT TO ENTER UPON NOR DO ANY WORK WITHIN ADJACENT LANDS WITHOUT THE PERMISSION OF THE OWNER.
- SURPLUS EXCAVATED MATERIAL SHALL BE PLACED WHERE DIRECTED OR REMOVED FROM SITE.
- ALL NEW WORKS SHALL MAKE A SMOOTH JOINT WITH EXISTING.
- ALL DRAINAGE LINES THOUGH ADJACENT LOTS SHALL BE CONTAINED WITHIN EASEMENTS CONFORMING TO COUNCIL'S STANDARDS.
- PRIOR TO COMMENCEMENT OF WORK, THE CONTRACTOR SHALL PROVIDE A TRAFFIC MANAGEMENT PLAN PREPARED BY AN ACCREDITED PERSON IN ACCORDANCE WITH RMS REQUIREMENTS, FOR ANY WORK ON OR ADJACENT TO PUBLIC ROADS. PLAN TO BE SUBMITTED TO COUNCIL & RMS AS REQUIRED.
- THESE PLANS SHALL BE A READ IN CONJUNCTION WITH OTHER RELEVANT CONSULTANTS' PLANS, SPECIFICATIONS, CONDITIONS OF DEVELOPMENT CONSENT AND CONSTRUCTION CERTIFICATE REQUIREMENTS.
- THE BUILDER/CONTRACTOR SHALL LOCATE ALL EXISTING PUBLIC UTILITY SERVICES WITHIN THE SITE, FOOTPATH AREA AND ROAD RESERVE. PRIOR TO THE COMMENCEMENT OF ANY WORKS, ALL LOCATIONS AND LEVELS OF SERVICES SHALL BE REPORTED TO THE STORMWATER ENGINEER PRIOR TO THE COMMENCEMENT OF ANY WORKS TO ENSURE THERE ARE NO OBSTRUCTIONS IN THE LINE OF THE DRAINAGE DISCHARGE PIPES.
- THE BUILDER IS TO VERIFY ALL LEVELS ON SITE PRIOR TO COMMENCING CONSTRUCTION.
- ALL THE CLEANING EYES (OR INSPECTION EYES) FOR THE UNDERGROUND PIPES HAVE TO BE TAKEN UP TO THE FINISHED GROUND LEVEL FOR EASY IDENTIFICATION AND MAINTENANCE PURPOSES.
- ALL TERRACE FLOOR AND PLANTER GRATES TO HAVE FIRE COLLARS FITTED.
- ALL PITS HAVING AN INTERNAL DEPTH THAT EXCEEDS 1.0m SHALL BE PROVIDED WITH GALVANISED STEP IRONS AT 300mm MIN CENTRES PLACED IN A STAGGERED PATTERN AND SHALL BE IN ACCORDANCE WITH THE AUSTRALIAN STANDARDS AS4198-1994.
- ALL MULCHING TO BE USED WITHIN THE AREA DESIGNATED AS ON SITE DETENTION STORAGE SHALL BE OF A NON-FLOATABLE MATERIAL SUCH AS DECORATIVE RIVER GRAVEL. BARK MULCHING SHALL NOT BE USED WITHIN THE DETENTION STORAGE AREA.
- PRIOR TO COMMENCING ANY WORKS ON THE SITE, THE BUILDER SHALL ENSURE THAT THE INVERT LEVELS OF THE SITE, THE SITE STORMWATER SYSTEM CONNECTION INTO COUNCIL'S KERB/DRAINAGE SYSTEM MATCH THE DESIGN LEVELS. ANY DISCREPANCIES SHALL BE REPORTED TO THE DESIGN ENGINEER IMMEDIATELY.
- GREENVIEW IS NOT RESPONSIBLE FOR THE ACCURACY OF ANY SURVEY INFORMATION PROVIDED ON THIS DRAWING.
- ALL LEVELS SHOWN ARE EXPECTED TO BE TO A.H.D.
- ALL CHAINAGES AND LEVELS ARE IN METERS, AND DIMENSIONS IN MILLIMETRES, UNLESS NOTED OTHERWISE.
- THE SURVEY INFORMATION ON THIS DRAWING HAS BEEN PROVIDED BY THE ARCHITECT.
- CONTRACTORS SHALL ARRANGE FOR THE WORKS TO BE SET OUT BY A REGISTERED SURVEYOR.
- W & E DRAWINGS BY A REGISTERED SURVEYOR ARE REQUIRED PRIOR TO CERTIFICATION OF DRAINAGE.
- WHERE THESE PLANS ARE NOTED FOR DEVELOPMENT APPLICATION PURPOSES ONLY, THEY SHALL NOT BE USED FOR OBTAINING A CONSTRUCTION CERTIFICATE NOR USED FOR CONSTRUCTION PURPOSES WITHOUT WRITTEN APPROVAL.
- WATER TREATMENT DEVICES TO STRICTLY COMPLY WITH MANUFACTURING SPECIFICATIONS.

#### RAINWATER REUSE SYSTEM NOTES

- RAINWATER SUPPLY PLUMBING TO BE CONNECTED TO OUTLETS WHERE REQUIRED BY BASIX CERTIFICATE (BY OTHERS).
- NO DIRECT CONNECTION BETWEEN TOWN WATER SUPPLY AND THE RAINWATER SUPPLY.
- PROVIDE AN APPROVED STOP VALVE AND/OR PRESSURE LIMITING VALVE AT THE RAINWATER TANK.
- PROVIDE AT LEAST ONE EXTERNAL HOSE COCK ON THE TOWN WATER SUPPLY FOR FIRE FIGHTING.
- PROVIDE APPROPRIATE FLOAT VALVE AND/OR SOLENOID VALVES TO CONTROL TOWN WATER SUPPLY INLET TO TANK IN ORDER TO ACHIEVE THE TOP-UP INDICATED ON THE TYPICAL DETAIL.
- ALL PLUMBING WORKS ARE TO BE CARRIED OUT BY LICENSED PLUMBERS IN ACCORDANCE WITH AS/NZS3500.1 NATIONAL PLUMBING AND DRAINAGE CODE.
- PRESSURE PUMP ELECTRICAL CONNECTION TO BE CARRIED OUT BY A LICENSED ELECTRICIAN.
- ONLY ROOF RUN-OFF IS TO BE DIRECTED TO THE RAINWATER TANK. SURFACE WATER INLETS ARE NOT TO BE CONNECTED.
- PIPE MATERIALS FOR RAINWATER SUPPLY PLUMBING ARE TO BE APPROVED MATERIALS TO AS/NZS3500 PART 1 SECTION 2 AND TO BE CLEARLY AND PERMANENTLY IDENTIFIED AS 'RAINWATER'. THIS MAY BE ACHIEVED FOR BELOW GROUND PIPES USING IDENTIFICATION TAPE (MADE IN ACCORDANCE WITH AS2684) OR FOR ABOVE GROUND PIPES BY USING ADHESIVE PIPE MARKERS (MADE IN ACCORDANCE WITH AS1345).
- EVERY RAINWATER SUPPLY OUTLET POINT AND THE RAINWATER TANK ARE TO BE LABELLED 'RAINWATER ON A METALLIC SIGN IN ACCORDANCE WITH AS1319.
- ALL INLETS AND OUTLETS TO THE RAINWATER TANK ARE TO HAVE SUITABLE MEASURES PROVIDED TO PREVENT MOSQUITO AND VERMIN ENTRY.
- ALL DOWNPIPES CHARGED TO THE RAINWATER TANK ARE TO BE SEALED UP TO GUTTER LEVEL AND BE PRESSURE TESTED AND CERTIFIED.
- TOWN WATER CONNECTION TO RAINWATER TANK TO BE TO THE SATISFACTION OF THE REGULATORY AUTHORITY. THIS MAY REQUIRE PROVISION OF
  - PERMANENT AIR GAP
  - BACKFLOW PREVENTION DEVICE

#### SAFETY IN DESIGN NOTES

THERE ARE INHERENT RISKS WITH CONSTRUCTING, MAINTAINING, OPERATING, DEMOLISHING, DISMANTLING AND DISPOSING. WE NOTE THIS DESIGN IS TYPICAL OF SIMILAR DESIGNS. AS FAR AS IS REASONABLY PRACTICABLE RISKS HAVE BEEN ELIMINATED OR MINIMISED THROUGH THE DESIGN PROCESS. HAZARD CONTROLS MUST STILL BE IMPLEMENTED BY THE CONTRACTOR, OWNER OR OPERATOR TO ENSURE THE SAFETY OF WORKERS. GREENVIEW ASSESSMENT DID NOT IDENTIFY ANY UNIQUE RISKS ASSOCIATED WITH THE DESIGN.

#### EARTHWORK NOTES

- IT IS THE CONTRACTORS RESPONSIBILITY TO LOCATE AND LEVEL ALL EXISTING SERVICES PRIOR TO THE COMMENCEMENT OF ANY EARTHWORKS.
- THE CONTRACTOR SHALL CLEAR THE SITE BY REMOVING ALL RUBBISH, FENCES AND DEBRIS ETC. TO THE EXTENT OF THE PROPOSED DEVELOPED AREA.
- PROVIDE PROTECTION BARRIERS TO PROTECTED/SENSITIVE AREAS PRIOR TO ANY BULK EXCAVATION.
- OVER FULL AREA OF EARTHWORKS, CLEAR VEGETATION, RUBBISH, SLABS ETC. AND STRIP TOP SOIL. AVERAGE 200mm THICK. REMOVE FROM SITE, EXCEPT TOP SOIL FOR RE-USE.
- CUT AND FILL OVER THE SITE TO LEVELS REQUIRED.
- PRIOR TO ANY FILLING IN AREAS OF CUT OR IN EXISTING GROUND, PROOF ROLL THE EXPOSED SURFACE WITH A ROLLER OF MINIMUM WEIGHT OF 5 TONNES WITH A MINIMUM OF 10 PASSES.
- EXCAVATE AND REMOVE ANY SOFT SPOTS ENCOUNTERED DURING PROOF ROLLING AND REPLACE WITH APPROVED FILL COMPACTED IN LAYERS. THE WHOLE OF THE EXPOSED SUBGRADE AND FILL SHALL BE COMPACTED TO 98% STANDARD MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE CONTENT  $\pm 2\%$ .
- FOR ON SITE FILLING AREAS, THE CONTRACTOR SHALL TAKE LEVELS OF EXISTING SURFACE AFTER STRIPPING TOPSOIL AND PRIOR TO COMMENCING FILL OPERATIONS.
- WHERE HARD ROCK IS EXPOSED IN THE EXCAVATED SUB-GRADE, THIS WILL BE INSPECTED AND A DECISION MADE ON THE LEVEL TO WHICH EXCAVATION IS TAKEN.
- FILL IN 200mm MAXIMUM (LOOSE THICKNESS) LAYERS TO UNDERSIDE OF BASECOURSE USING THE EXCAVATED MATERIAL AND COMPACTED TO 98% STANDARD (AS 1289 5.1.1). MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE CONTENT  $\pm 2\%$  SHOULD THERE BE INSUFFICIENT MATERIAL FROM SITE EXCAVATIONS, IMPORT AS NECESSARY CLEAN GRANULAR FILL TO APPROVAL.
- COMPACTION TESTING SHALL BE CARRIED OUT AT THE RATE OF 2 TESTS PER 1000SQ METRES PER LAYER BY A REGISTERED NATA LABORATORY. THE COSTS OF TESTING AND RE-TESTING ARE TO BE ALLOWED FOR BY THE BUILDER.
- BATTERS TO BE AS SHOWN, OR MAXIMUM 1 VERT : 4 HORIZ.
- ALL CONDUITS AND MAINS SHALL BE LAID PRIOR TO LAYING FINAL PAVEMENT.
- ALL BATTERS AND FOOTPATHS ADJACENT TO ROADS SHALL BE TOP SOILED WITH 150mm APPROVED LOAM AND SEEDED UNLESS OTHERWISE SPECIFIED.

#### DRAINAGE INSTALLATION

#### RCP CONVENTIONAL

#### INSTALLATIONS & ROAD CROSSINGS

- SUPPLY & INSTALLATION OF DRAINAGE WORKS TO BE IN ACCORDANCE WITH THESE DRAWINGS, THE COUNCIL SPECIFICATION AND THE CURRENT APPLICABLE AUSTRALIAN STANDARDS.
- BACKFILL SHALL BE PLACED & COMPACTED IN ACCORDANCE WITH THE SPECIFICATION, A GRANULAR GRAVEL AGGREGATE MATERIAL (<10mm) BACKFILL IS RECOMMENDED FOR THE BEDDING, HAUNCH SUPPORT AND SIDE ZONE DUE TO ITS SELF COMPACTING ABILITY.
- A MINIMUM OF 150mm CLEARANCE IS TO BE PROVIDED BETWEEN THE OUTSIDE OF THE PIPE BARREL AND THE TRENCH WALL FOR PIPES < 600 DIA. 200mm CLEARANCE FOR PIPES 600 TO 1200 DIA AND 200mm CLEARANCE FOR PIPES > 1200 DIA.
- BEDDING OF THE PIPELINES IS TO BE TYPE 'H82' IN ACCORDANCE WITH THE STANDARDS AND AS FOLLOWS:
  - COMPACTED GRANULAR MATERIAL IS TO COMPLY WITH THE FOLLOWING GRADINGS:

M	19	2.3600	0.6000	0.3000	0.1500	0.0750
% MASS PASSING	100	50-100	20-90	10-60	0-25	0-10

-AND THE MATERIAL PASSING THE 0.075 SIEVE HAVING LOW PLASTICITY AS DESCRIBED IN APPENDIX D OF AS1726.

b.BEDDING DEPTH UNDER THE PIPE TO BE 100mm.

c.BEDDING MATERIAL TO BE EXTENDED FROM THE TOP OF THE BEDDING ZONE UP TO 0.3 TIMES PIPE OUTSIDE DIAMETER. THIS REPRESENTS THE HAUNCH ZONE.

d.THE BEDDING & HAUNCH ZONE MATERIAL IS TO BE COMPACTED TO A MINIMUM RELATIVE COMPACTION OF 98% WITHIN ROAD RESERVES AND TRAFFICABLE AREAS AND 95% ELSEWHERE FOR COHESIVE MATERIAL OR A MINIMUM DENSITY INDEX OF 70% IN ACCORDANCE WITH THE STANDARDS FOR COHESIONLESS MATERIAL.

e.COMPACTION TESTING SHALL BE CARRIED OUT BY AN APPROVED ORGANISATION WITH A NATA CERTIFIED LABORATORY FOR ALL DRAINAGE LINES LAID WHOLLY OR IN PART UNDER THE KERB & GUTTER OR PAVEMENT

#### ROOF DRAINAGE

- ALL ROOF DRAINAGE IS TO BE DESIGNED AND INSTALLED IN ACCORDANCE WITH THE CURRENT APPLICABLE AUSTRALIAN STANDARDS INCLUDING AS3500.3, NCC AND COUNCIL'S SPECIFICATIONS.
- DOWNPIPES SHOWN ARE INDICATIVE ONLY. REFER ARCHITECTURALS FOR FINAL LOCATIONS.
- ALL DOWNPIPES TO BE CONSTRUCTED OF ONE MATERIAL FOR AESTHETICS REASONS AND PAINTED TO PROTECT THEM AGAINST ULTRA-VIOLET LIGHT DAMAGE, UNLESS APPROVED OTHERWISE BY THE PROJECT ARCHITECT.
- ALL DOWNPIPES TO HAVE LEAD GUARDS.
- ALL EAVES GUTTERS ARE TO BE DESIGNED TO THE 5% AEP (20YR) STORM EVENTS UNO
- ALL EAVES GUTTER OVERFLOWS ARE TO BE IN ACCORDANCE WITH AS3500.3 G3
- ALL BOX GUTTERS ARE TO BE DESIGNED TO CATER TO THE 1% AEP (100YR) STORM EVENTS UNO
- IN ACCORDANCE WITH AS3500.3 CLAUSE 3.7.6 G. BOX GUTTERS SHALL:
  - BE STRAIGHT (WITHOUT CHANGE IN DIRECTION)
  - HAVE A HORIZONTAL CONSTANT WIDTH BASE (SOLE) WITH VERTICAL SIDES IN A CROSS-SECTION.
  - HAVE A CONSTANT LONGITUDINAL SLOPE BETWEEN 1:200 AND 1:40.
  - DISCHARGE AT THE DOWNSTREAM END WITHOUT CHANGE OF DIRECTION (I.E. NOT TO THE SIDE); AND
  - BE SEALED TO THE HEADS AND SUMPS.
- GREENVIEW RECOMMENDS THAT THE BUILDER VERIFIES THAT ANY AND ALL BOX GUTTERS HAVE BEEN DESIGNED BY A QUALIFIED CIVIL ENGINEER PRIOR TO THE COMMENCEMENT OF WORKS.
- GREENVIEW RECOMMENDS A SPECIFIC INSPECTION AND CERTIFICATION BY A QUALIFIED CIVIL ENGINEER OF ANY AND ALL BOX GUTTERS INSTALLED ON THE PROJECT PRIOR TO OCCUPATION CERTIFICATE
- ALL DOWNPIPES ARE TO BE PIPE CONNECTED INTO THE FORMAL RAINWATER OR STORMWATER LINE UNLESS SPECIFICALLY NOTED ON THE DRAWINGS OTHERWISE.

#### STORMWATER DRAINAGE NOTES

- STORMWATER DRAINAGE SHALL BE GENERALLY IN ACCORDANCE WITH CURRENT AUSTRALIAN STANDARDS INCLUDING AS3500.3, NCC AND COUNCIL'S SPECIFICATION
- MINIMUM PIT DIMENSIONS ARE TO BE IN ACCORDANCE WITH AS3500.3 TABLE 7.5.2.1 WHICH PROVIDES GUIDANCE ACCORDING TO PIT DEPTH U.N.O.

#### TABLE 7.5.2.1

#### MINIMUM INTERNAL DIMENSIONS FOR STORMWATER AND INLET PITS

Depth to invert of outlet	Minimum internal dimensions mm		
	Rectangular	Circular	
	Width	Length	Diameter
≤450	350	350	—
≤600	450	450	600
>600 ≤900	600	600	900
>900 ≤1200	600	900	1000
>1200	900	900	1000

- PIPES OF 225mm DIA. AND UNDER SHALL BE UPVC
- PIPES OF 300mm DIA. AND LARGER SHALL BE FRC OR CONCRETE CLASS 2 RUBBER RING JOINTED UNO
- ALL FRC OR RCP STORMWATER PIPES WITHIN ROAD RESERVE AREAS TO BE CLASS 3 U.N.O. BY COUNCIL'S SPECIFICATION
- PIPES SHALL GENERALLY BE LAID AT THE GRADES INDICATED ON THE DRAWINGS.
- MINIMUM COVER TO PIPES 300mm DIA. AND OVER GENERALLY SHALL BE 600mm IN CARPARK & ROADWAY AREAS UNO.
- ALL PIPES LOCATED IN LANDSCAPE AREAS TO HAVE 300mm COVER, WHERE NOT POSSIBLE AND COVER IS BETWEEN 150mm AND 300mm USE SEWER GRADE PIPE.
- PIPES 225mm DIA. AND OVER SHALL BE LAID AT 0.5% MIN. GRADE U.N.O.
- PIPES UP TO 150mm DIA SHALL BE LAID AT 1.0% MIN. GRADE U.N.O
- BACKFILL TRENCHES WITH APPROVED FILL COMPACTED IN 200mm LAYERS TO 98% OF STANDARD DENSITY.
- ANY PIPES OVER 16% GRADE SHALL HAVE CONCRETE BULKHEADS AT ALL JOINTS
- THE MINIMUM SIZES OF THE STORMWATER DRAINAGE PIPES SHALL NOT BE LESS THAN 90mm DIA FOR CLASS 1 BUILDINGS AND 100mm DIA FOR OTHER CLASSES OF BUILDING OR AS REQUIRED BY THE REGULATORY AUTHORITY.
- BUILD INTO UPSTREAM FACE OF ALL PITS A 3.0m SUBSOIL LINE FALLING TO PITS TO MATCH PIT INVERTS.
- ALL LANDSCAPED PITS TO BE MIN 450 SQUARE U.N.O OR LARGER AS REQUIRED BY AS3500.3 TABLE 7.5.2.1
- GREENVIEW RECOMMENDS ALL COURTYARDS TO HAVE 450 SQUARE PLASTIC PIT INSTALLED WITH A 150mm DIA. CONNECTION TO FORMAL DRAINAGE SYSTEM.
- ALL DRIVEWAY PITS TO BE MIN 600 SQUARE U.N.O OR LARGER AS REQUIRED BY AS3500.3 TABLE 7.5.2.1
- ALL PLANTER BOXES AND BALCONIES TO BE CONNECTED TO THE PROPOSED STORMWATER DRAINAGE LINE.
- ALL STORMWATER DRAINAGE WORK TO AVOID TREE ROOTS. WHERE NOT POSSIBLE, ALL EXCAVATIONS IN VICINITY OF TREE ROOTS ARE TO BE HAND DUG
- GEOTEXTILE FABRIC TO BE PLACED UNDER RIP RAP SCOUR PROTECTION WHERE APPLICABLE.
- ALL BASES OF PITS TO BE BENCHMARKED (TO HALF PIPE DEPTH) TO THE INVERT OF THE OUTLET PIPE AND PROVIDE GALVANISED ANGLE SURROUNDINGS TO GRATE.
- ANY VARIATION TO THAT WORKS AS SHOWN ON THE APPROVED DRAWINGS ARE TO BE CONFIRMED BY THE ENGINEER PRIOR TO THE COMMENCEMENT.
- ALL BALCONIES AND ROOFS TO BE DRAINED AND TO HAVE SAFETY OVERFLOWS IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS.
- ALL GRATES TO HAVE CHILDPROOF LOCKS
- ALL WORK WITHIN COUNCIL RESERVE AREAS TO BE INSPECTED BY COUNCIL PRIOR TO BACKFILLING.
- COUNCIL'S ISSUED FOOTWAY DESIGN LEVELS TO BE INCORPORATED INTO THE FINISHED LEVELS ONCE ISSUED BY COUNCIL.
- WATER PROOF ALL CONCRETE BALCONIES & ROOFS TO ARCHITECTS DETAILS
- ALL BALCONIES TO HAVE FLOOR WASTE AND 1% FALL WITH SAFETY OVERFLOW.
- ALL SUBSOIL DRAINAGE SHALL BE A MINIMUM OF Ø65mm AND SHALL BE PROVIDED WITH A FILTER SOCK. THE SUBSOIL DRAINAGE SHALL BE INSTALLED IN ACCORDANCE WITH DETAILS TO BE PROVIDED BY THE LANDSCAPE CONSULTANT.
- SUBSOIL DRAINAGE PIPES AND FITTINGS SHALL BE PERFORATED PLASTIC TO CURRENT AUSTRALIAN STANDARDS. LAY PIPES ON FLOOR OF TRENCH GRADED AT 1% MIN. AND OVERLAY WITH FILTER MATERIAL EXTENDING TO WITHIN 200mm OF SURFACE. PROVIDE FILTER FABRIC OF PERMEABLE POLYPROPYLENE BETWEEN FILTER MATERIAL AND TOPSOIL. PROVIDE FLUSHING EYE'S AT HIGH POINTS OR TO COUNCILS REQUIREMENTS.
- ALL GRATES IN AREAS OF FREQUENT PEDESTRIAN TRAFFIC (IE FOOTPATHS, WALKWAYS, ETC.) TO BE HEELPROOF GRATE.
- REFER ARCHITECTS DETAIL FOR GRATE FINISH (IE STAINLESS STEEL OR GALVANISED)
- GRATES TO BE IN ACCORDANCE WITH TABLE BELOW:

#### PIT GRATE INLINE TYPE

GRATE TYPE	TRAFFIC CONDITIONS
A - EXTRA LIGHT DUTY	FOOTWAYS AND AREAS ACCESSIBLE ONLY TO PEDESTRIANS AND PEDAL CYCLISTS.
B - LIGHT DUTY	FOOTWAYS THAT CAN BE MOUNTED BY VEHICLES.
C - MEDIUM DUTY	MAILS AND PEDESTRIAN AREAS OPEN TO SLOW MOVING COMMERCIAL VEHICLES.
D - HEAVY DUTY	CARRIAGEWAYS OF ROADS AND AREAS OPEN TO COMMERCIAL VEHICLES.

TABLE AS PER AS3699 - 2006. ENGINEER TO BE NOTIFIED IF LOAD CONDITIONS LISTED ABOVE ARE EXCEEDED

- COVER TO PIPE TO BE AS PER TABLE BELOW:

#### COVER TABLE

LOCATION	PIPE TYPE	COVER
LANDSCAPE	PVC	300
LANDSCAPE (SINGLE DWELLING)	PVC	100
UNDER TRAFFICABLE AREA	PVC	100 BELOW UNDERSIDE OF PAVEMENT
CONCRETE	STEEL	NIL BELOW UNDERSIDE OF PAVEMENT
ROADS	RCP	500 BELOW UNDERSIDE OF PAVEMENT

#### STORMWATER DRAINAGE NOTES CONTINUED

- GREENVIEW'S STORMWATER SYSTEM HAS BEEN DESIGNED TO CAPTURE SURFACE RUNOFF FROM THE SITE ITSELF BUT DOES NOT INCORPORATE SPECIFIC GROUNDWATER CAPTURE MECHANISMS. IN SOME CASES, GROUNDWATER INUNDATION MAY BE A SIGNIFICANT SOURCE OF WATER DURING A STORM EVENT. GREENVIEW RECOMMENDS THAT ALL RETAINING WALLS CLOSE TO HABITABLE AREAS BE FITTED WITH AN IMPERMEABLE MEMBRANE AND SUBSOIL DRAINAGE TO PREVENT GROUNDWATER INGRESS.
- GREENVIEW RECOMMENDS ALL IN-GROUND STORMWATER PIPE RUNS ARE SET OUT BY THE BUILDER PRIOR TO COMMENCEMENT OF WORKS. WHERE 300mm COVER IS NOT ACHIEVED, NOTIFY ENGINEER.
- WHERE STORMWATER DRAINAGE WORKS ARE TO BE UNDERTAKEN PRIOR TO THE CONSTRUCTION OF THE BUILDING, THE BUILDER IS TO SET OUT THE FLOOR LEVELS AND ENSURE PROPOSED STORMWATER DRAINAGE LEVELS AND BUILDING LEVELS ARE COMPATIBLE. NOTIFY ENGINEER IMMEDIATELY IF ANY DISCREPANCIES.

#### ON-SITE DETENTION

- ON-SITE DETENTION (OSD) TANKS ARE TO BE DESIGNED AND INSTALLED IN ACCORDANCE WITH THE CURRENT APPLICABLE AUSTRALIAN STANDARDS INCLUDING AS3500.3, NCC AND COUNCIL'S SPECIFICATIONS.
- IT IS CRITICAL THAT THE MINIMUM OSD VOLUME AS CALCULATED BY THE DESIGN AND NOTED ON THESE PLANS IS ACHIEVED ON SITE. VOLUMES TO BE VERIFIED BE REGISTERED SURVEYOR AND NOTED IN THE WAE SURVEY PRIOR TO CERTIFICATION
- OSD VOLUME MAY BE ACHIEVED IN BELOW GROUND TANK, OR ABOVE GROUND PONDING, OR RAINWATER TANK OFFSET, OR INFILTRATION/ABSORPTION SYSTEM. EACH COUNCIL HAS SPECIFIC GUIDELINES FOR HOW STORMWATER FLOWS ARE TO BE CONTROLLED AND DISCHARGED.
- PONDING AND OVERFLOW LEVELS FROM THE OSD SHALL BE NOT LESS THAN 300mm BELOW ADJACENT HABITABLE FLOOR LEVELS OF BUILDINGS AND NOT LESS THAN 150mm BELOW NON-HABITABLE FLOOR LEVELS (AS3500.1 CLAUSE 7.10.1)

#### ABOVE GROUND OSD TANKS

- WHERE ABOVE-GROUND OSD SYSTEMS ARE PROPOSED TO BE LOCATED IN LANDSCAPED AREAS THE FOLLOWING CRITERIA IS RECOMMENDED IN ACCORDANCE WITH AS3500.3 N12.2 a. A DESIRABLE MINIMUM SLOPE FOR SURFACES DRAINING TO AN OUTLET TO BE 1:60, AND AN ABSOLUTE MINIMUM SLOPE TO BE 1:100. b. THE DESIRABLE MAXIMUM DEPTH OF PONDING UNDER DESIGN CONDITIONS TO BE 300mm. c. STORAGE VOLUMES IN LANDSCAPING AREAS TO BE INCREASED BY 20% TO ALLOW FOR VEGETATION GROWTH, CONSTRUCTION INACCURACIES AND POSSIBLE FILLING. d. SUBSOIL DRAINS TO BE PROVIDED AROUND OUTLETS TO PREVENT THE GROUND BECOMING SATURATED DURING PROLONGED WET WEATHER; AND e. WHERE THE STORAGE IS LOCATED IN AREAS WHERE FREQUENT PONDING WOULD CAUSE MAINTENANCE PROBLEMS OR INCONVENIENCE, THE FIRST 10% TO 20% OF THE STORAGE SHOULD BE IN AN AREA THAT CAN TOLERATE FREQUENT INUNDATION, SUCH AS A PAVED OUTDOOR ENTERTAINMENT AREA, A SMALL UNDERGROUND TANK, A PERMANENT WATER FEATURE OR A ROCKERY.
- WHERE ABOVE-GROUND OSD SYSTEMS ARE PROPOSED TO BE LOCATED IN LANDSCAPED AREAS THE FOLLOWING CRITERIA IS RECOMMENDED IN ACCORDANCE WITH AS3500.3 N12.2 a. DEPTHS OF PONDING TO NOT EXCEED 200mm UNDER DESIGN CONDITIONS b. TRANSVERSE PAVING SLOPES WITHIN STORAGES TO BE NOT LESS THAN 1:140; AND c. WHERE THE STORAGE IS LOCATED IN COMMONLY USED AREAS WHERE PONDING WOULD CAUSE INCONVENIENCE, PART OF THE STORAGE SHOULD BE PROVIDED IN AN AREA OR FORM THAT WILL NOT CAUSE A NUISANCE.

#### MAINTENANCE SCHEDULE: ON

#### SITE DETENTION (OSD)

ALL OSD MAINTENANCE TASKS SHOULD BE UNDERTAKEN AFTER A SIGNIFICANT STORM EVENT

#### 6 MONTHLY

ELEMENT	TASK	DESCRIPTION / ACTION
ORIFICE PLATE	INSPECT FOR BLOCKAGE	CHECK PLATE FOR BLOCKAGE AND CLEAN
TRASH SCREEN	CHECK / CLEAN	CHECK AND CLEAN TRASH SCREEN
PIT SUMP	CHECK FOR SEDIMENT	CHECK FOR SEDIMENT / LITTER / SLUDGE AND CLEAN-OUT
GRATED LIDS	CHECK FOR DAMAGE	CHECK FOR CORROSION OR OTHER DAMAGE AND REPAIR / REPLACE AS NEEDED
	CLEAR BLOCKAGES	CHECK AND CLEAR BLOCKAGES
STORAGE LIDS	CHECK	REMOVE DEBRIS / MULCH / LITTER / SEDIMENT
OUTLET PIPES	CHECK FOR BLOCKAGES	CHECK / CLEAN / FLUSH OUTLET PIPES, REMOVE ANY BLOCKAGES
STEP IRONS	CHECK FIXING	ENSURE STEP-IRON FIXINGS ARE SECURE AND REPAIR AS NEEDED

#### ANNUALLY

ELEMENT	TASK	DESCRIPTION / ACTION
ORIFICE PLATE	CHECK ATTACHMENT	ENSURE PLATE IS MOUNTED SECURELY, TIGHTEN AND SEAL GAPS AS REQUIRED
TRASH SCREEN	CHECK ATTACHMENT	ENSURE PLATE IS MOUNTED SECURELY, TIGHTEN AND SEAL GAPS AS REQUIRED
	CHECK CORROSION	CHECK TRASH SCREEN FOR CORROSION, ESPECIALLY AT CORNERS NEAR WELDS AND REPAIR / REPLACE AS NEEDED
STEP IRONS	CHECK FOR CORROSION	EXAMINE STEP IRONS AND REPAIR ANY DAMAGE
INTERNAL WALLS	CHECK	CHECK FOR CRACKS / SPALLING AND REPAIR AS NEEDED
OSD SURROUNDS	CHECK FOR SUBSIDENCE	CHECK FOR SUBSIDENCE (WHICH MAY INDICATE LEAKS) AND REPAIR AS NEEDED

#### 5-YEARLY

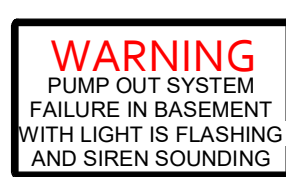
ELEMENT	TASK	DESCRIPTION / ACTION
ORIFICE PLATE	CHECK ORIFICE PLATE	CHECK ORIFICE SIZE AGAINST WAE AND CHECK FOR FITTING / SCARRING, REPLACE IF NECESSARY

#### COLOUR LEGEND

NEW (REFER TO SCHEDULES FOR COLOUR DEFINITION)
EXISTING
REMOVED OR RELOCATED

GREENVIEW CIVIL SHEET LIST		
No.	SHEET NAME	REV.
C01	NOTES & LEGENDS	6
C02	GROUND FLOOR DRAINAGE PLAN	6
C03	SITE STORMWATER DETAILS SHEET 1	6
C04	OSD CATCHMENT PLAN	6
C10	GROUND FLOOR TURNING PATHS SHEET 1	2
C11	GROUND FLOOR TURNING PATHS SHEET 2	3

#### RECOMMENDED SAFETY SIGNS



#### CONFINED SPACE DANGER SIGN

- A CONFINED SPACE DANGER SIGN SHALL BE POSITIONED IN A LOCATION AT ALL ACCESS POINTS, SUCH THAT IT IS CLEARLY VISIBLE TO PERSONS PROPOSING TO ENTER THE BELOW GROUND TANKS CONFINED SPACE
  - MINIMUM DIMENSIONS OF THE SIGN
    - 300mm x 450mm (LARGE ENTRIES, SUCH AS DOORS)
    - 250mm x 180mm (SMALL ENTRIES SUCH AS GRATES & MANHOLES)
- THE SIGN SHALL BE MANUFACTURED FROM COLOUR BONDED ALUMINUM OR POLYPROPYLENE
- SIGN SHALL BE AFFIXED USING SCREWS AT EACH CORNER OF THE SIGN.

#### EXISTING SERVICES



#### ABBREVIATIONS

DP	DOWN PIPE
FFL	PROPOSED FINISHED FLOOR LEVEL
GL	PROPOSED PIT SURFACE LEVEL
GL	PROPOSED PIT INVERT LEVEL
IO	INSPECTION OPENING
K&G	KERB & GUTTER
P	FINISHED PAVEMENT LEVEL
RCP	REINFORCED CONCRETE PIPE
RKG	ROLL KERB & GUTTER
RL	FINISHED SURFACE LEVEL
RWO	RAINWATER DRAINAGE OUTLET
RWT	PROPOSED RAINWATER TANK
TK	TOP OF NEW KERB LEVEL
TOW	TOP OF NEW RETAINING WALL LEVEL
TWL	TOP OF WATER LEVEL
UPVC	RIGID PVC PIPE
VD	VERTICAL DROPPER

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1	03.02.2022	JPS	ISSUED FOR APPROVAL
REV.	DATE	BY	DESCRIPTION

## PROPOSED DEVELOPMENT

13 Latty Street, Fairfield, NSW

STUDIO JOHNSTON



DESIGN: RC

DRAWN: JPS

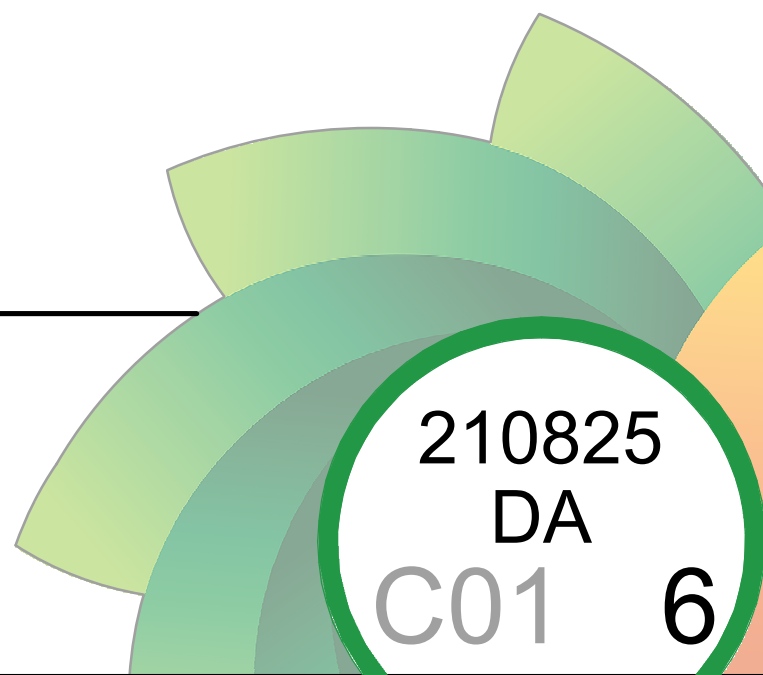
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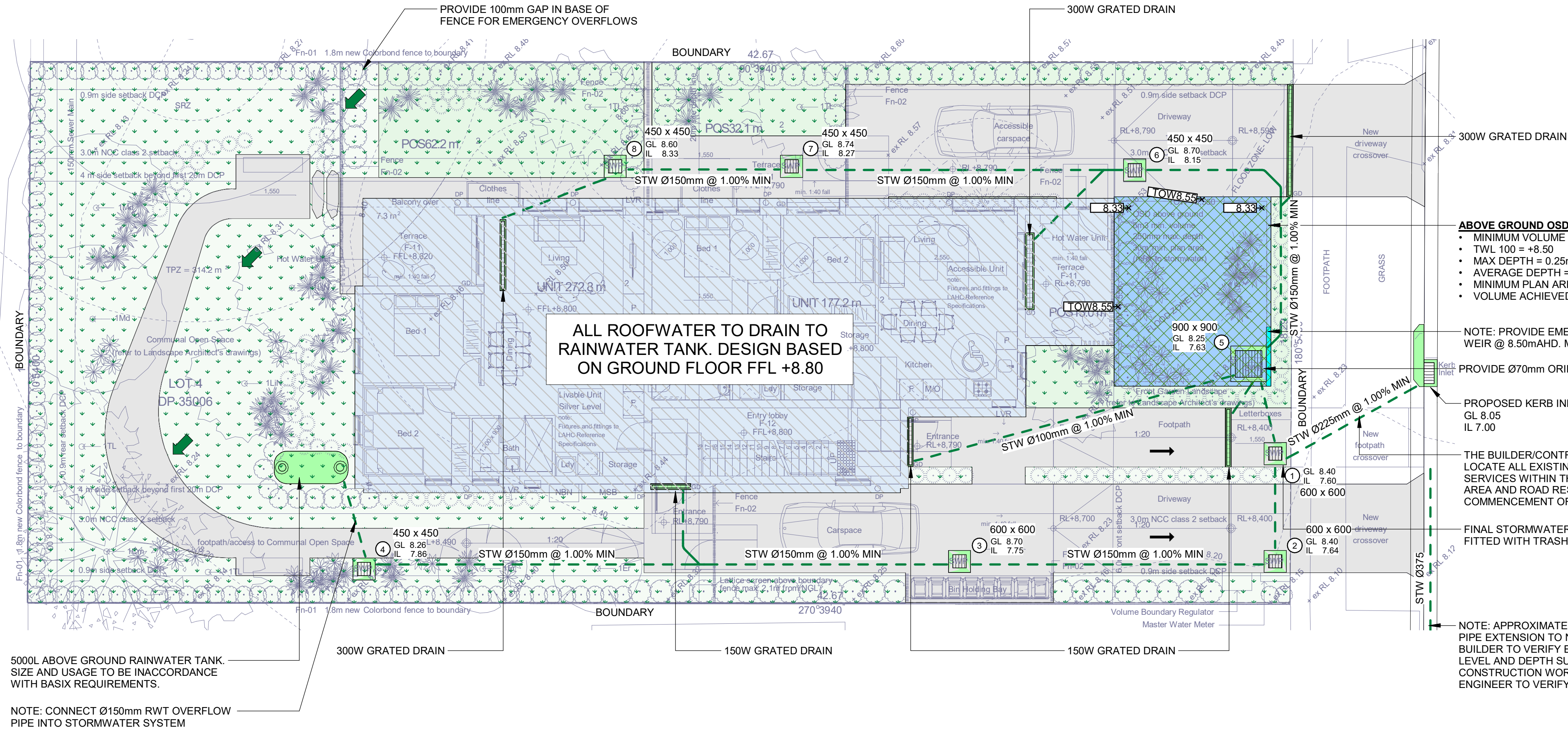
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## CIVIL DESIGN

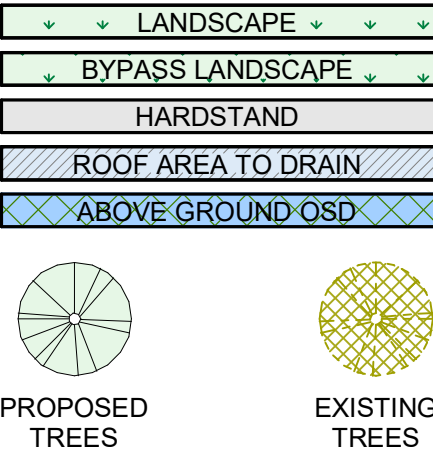
## NOTES & LEGENDS







GENERAL LEGEND



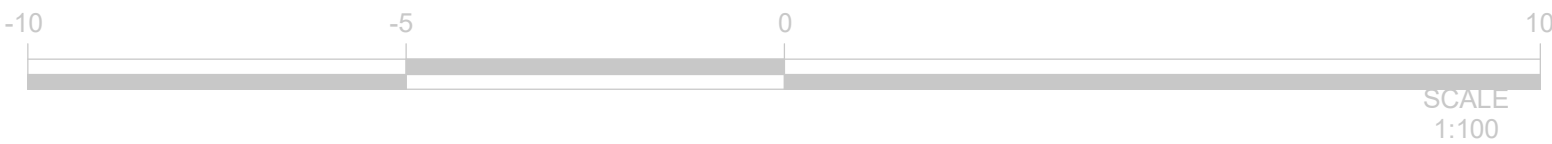
CIV - FIXTURES SCHEDULE		
	TYPE	DESCRIPTION
		GRATED STORMWATER PIT
		PERIMETER STRIP DRAIN
	300W	GRATED STRIP DRAIN
	5000L RWT	SLIMLINE TANK 5000L

CIV - STORMWATER SERVICES		
	TYPE	DESCRIPTION
	STW	STORMWATER

GROUND FLOOR DRAINAGE PLAN  
Scale: 1 : 100

- ALL NEW WORKS SHALL MAKE A SMOOTH JUNCTION WITH EXISTING.
- THE BUILDER/CONTRACTOR SHALL LOCATE ALL EXISTING PUBLIC UTILITY SERVICES WITHIN THE SITE, FOOTPATH AREA AND ROAD RESERVE PRIOR TO THE COMMENCEMENT OF ANY WORKS. ALL LOCATIONS AND LEVELS OF SERVICES SHALL BE REPORTED TO THE STORMWATER ENGINEER PRIOR TO THE COMMENCEMENT OF ANY WORKS TO ENSURE THERE ARE NO OBSTRUCTIONS IN THE LINE OF THE DRAINAGE DISCHARGE PIPES.
- PRIOR TO COMMENCING ANY WORKS ON THE SITE, THE BUILDER SHALL ENSURE THAT THE INVERT LEVELS OF WHERE THE SITE STORMWATER SYSTEM CONNECTION INTO COUNCIL'S KERB/DRAINAGE SYSTEM MATCH THE DESIGN LEVELS. ANY DISCREPANCIES SHALL BE REPORTED TO THE DESIGN ENGINEER IMMEDIATELY.
- ALL STORMWATER DRAINAGE WORK TO AVOID TREE ROOTS. WHERE NOT POSSIBLE, ALL EXCAVATIONS IN VICINITY OF TREE ROOTS ARE TO BE HAND DUG.
- ALL BASES OF PITS TO BE BENCHED (TO HALF PIPE DEPTH) TO THE INVERT OF THE OUTLET PIPE WITH ALL PIPES CUT FLUSH WITH SIDE OF PIT, TO ALLOW SMOOTH FLOW OF STORMWATER.
- PROVIDE GALVANISED ANGLE SURROUNDINGS TO GRATE WHERE IN TRAFFICABLE AREAS.
- PROVIDE 100mm GAP IN BASE OF FENCE FOR EMERGENCY OVERFLOWS.
- PROVIDE SUBSOIL DRAINAGE AND OUTLETS TO ALL ON PODIUM PLANTER BOXES. OUTLET PIPES NOT SHOWN FOR CLARITY OF DOCUMENTATION.
- ALL DOWNPIPES ARE TO BE PIPE CONNECTED INTO THE FORMAL RAINWATER OR STORMWATER LINE UNLESS SPECIFICALLY NOTED ON THE DRAWINGS OTHERWISE.

OSD CALCULATIONS:	
• FAIRFIELD LGA	
• NOTE: NO OSD FOR SINGLE DWELLINGS OR DUAL OCS WITH IMP < 70%	
• DESIGN METHOD: REDUCE 5YR AND 100YR POST-DEVELOPMENT FLOWRATES TO PRE-DEVELOPMENT FLOWRATES, AND ACHIEVE PSD FOR 100yr 9hr STORM	
• PSD 100yr 9 hr = 140 L/s/ha	
• SITE AREA = 780m <sup>2</sup>	
• PSD 100yr 9hr = 10.9 = 11 L/s	
• PRE-DEVELOPMENT IMP% = 196m <sup>2</sup> [25%]	
• POST-DEVELOPMENT AREAS:	
- AREA BYPASSING OSD = 342m <sup>2</sup> [58m <sup>2</sup> IMP] @ 17%	
- TO OSD = 438m <sup>2</sup> [298m <sup>2</sup> IMP] @ 68% IMP.	
• LONGEST FLOW PATH = 45m @ 0.2%	
USE DRAINS RUNOFF-ROUTING MODEL TO ARR2019 METHODOLOGY (10 PATTERNS PER DURATION)	
• DRAINS PARAMETERS: IL = 0mm, CLR = 0.4*1.9 = 0.76 mm/hr, N* (HARD) = 0.015, N*(GRASS) = 0.170	
• SSR100 (1%AEP) = 5.8m <sup>3</sup>	
• Q5 PRE / POST = 12 / 12 L/s	
• Q100 PRE / POST = 25 / 20 L/s	
• Q100yr 9HR = 9 L/s < 11 L/s [OK]	
• VOLUME PROVIDED IN ABOVE-GROUND PONDING = 6m <sup>3</sup> [OK]	
• ORIFICE CONTROL [TWL 8.50, GL 8.25, IL 7.63] = Ø70mm [DRAINS]	



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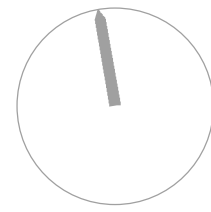
PROPOSED DEVELOPMENT

13 Latty Street, Fairfield, NSW

STUDIO JOHNSTON

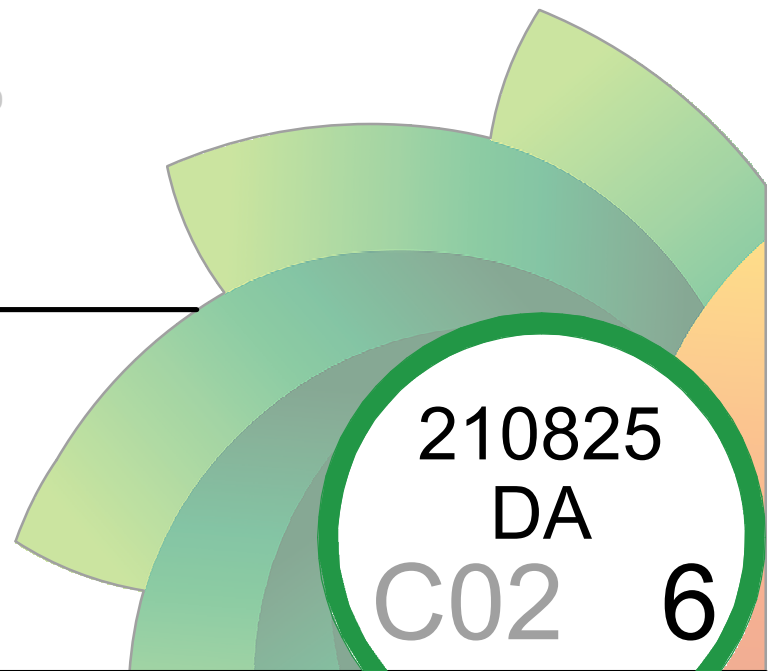


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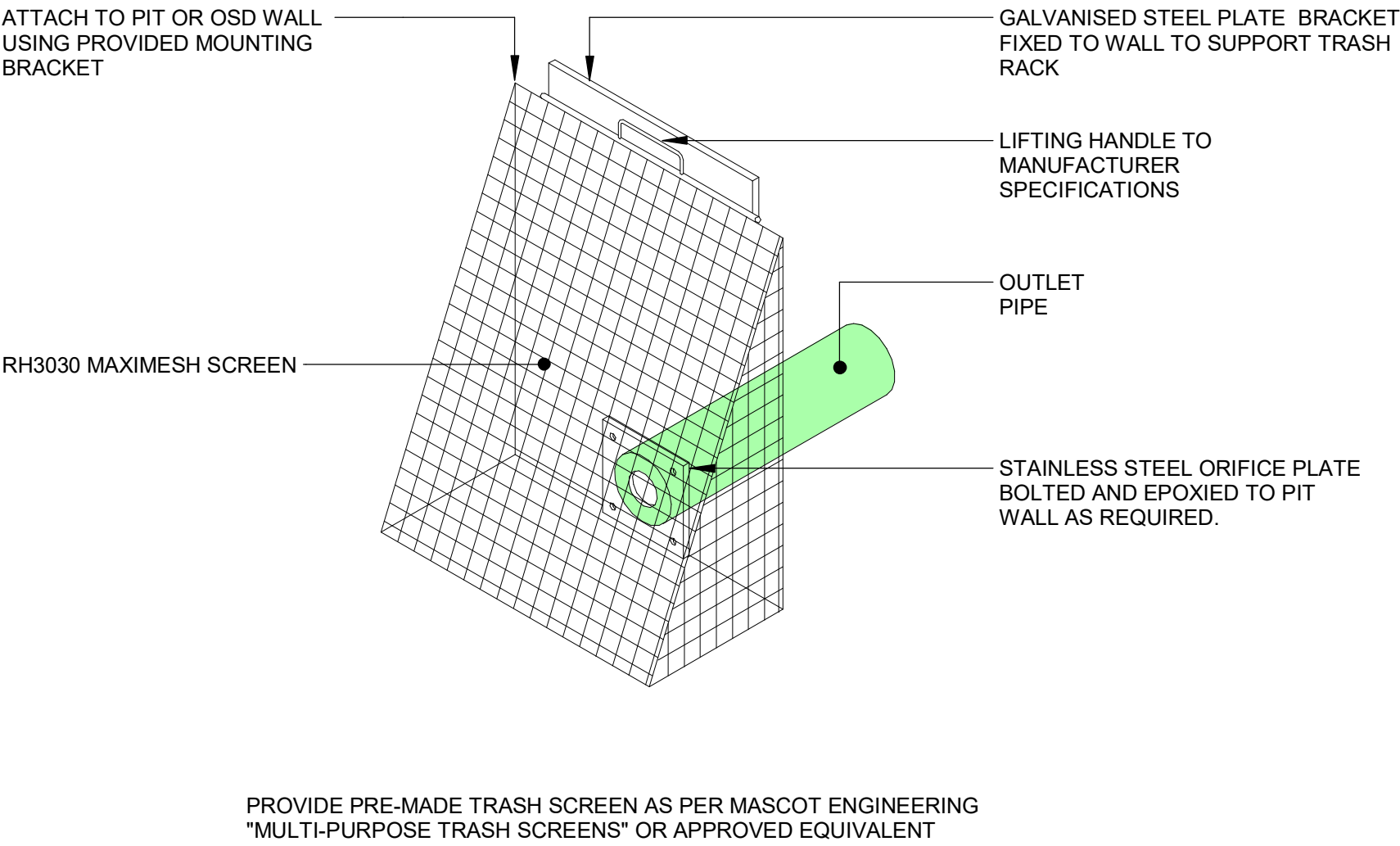


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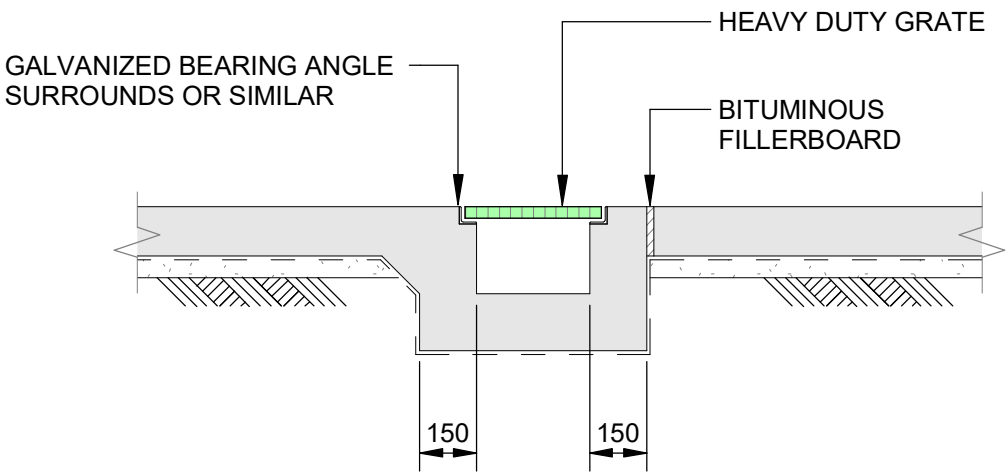
GROUND FLOOR DRAINAGE PLAN



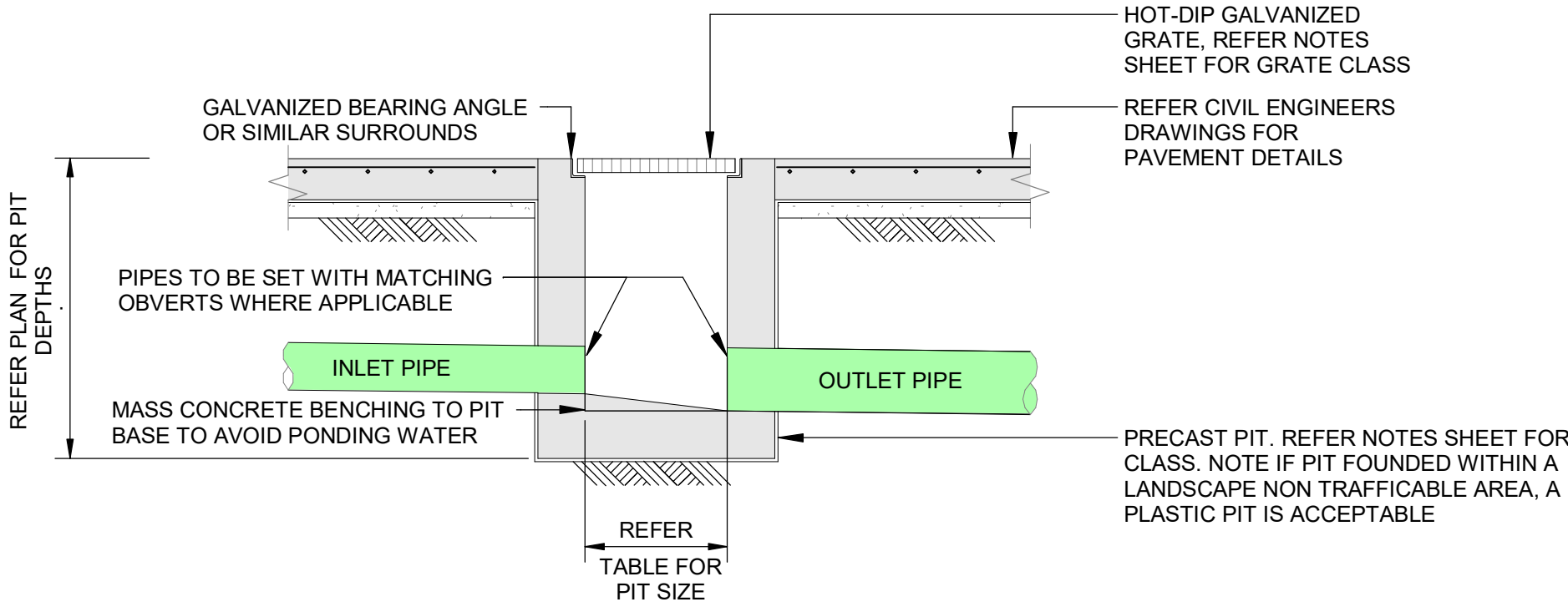




TYPICAL TRASH SCREEN DETAIL  
Scale: 1 : 10



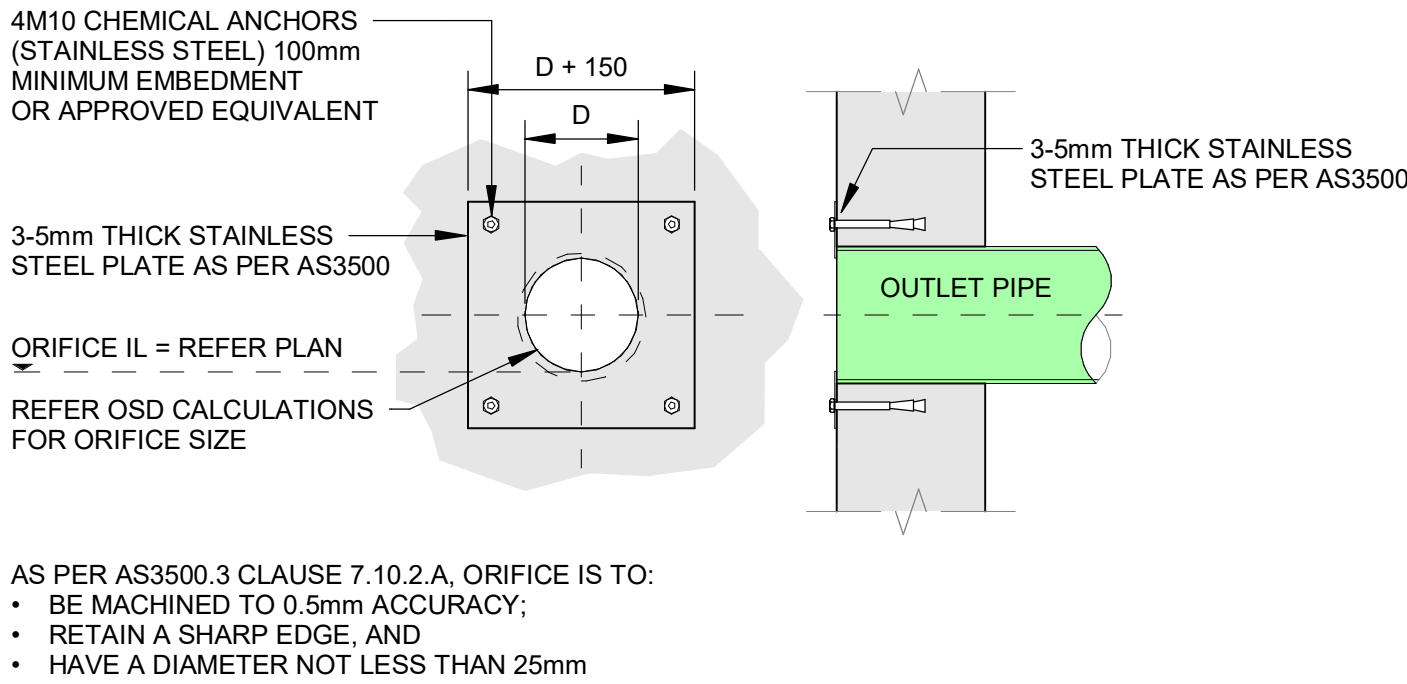
TYPICAL GRATED DRAIN DETAIL  
Scale: 1 : 20



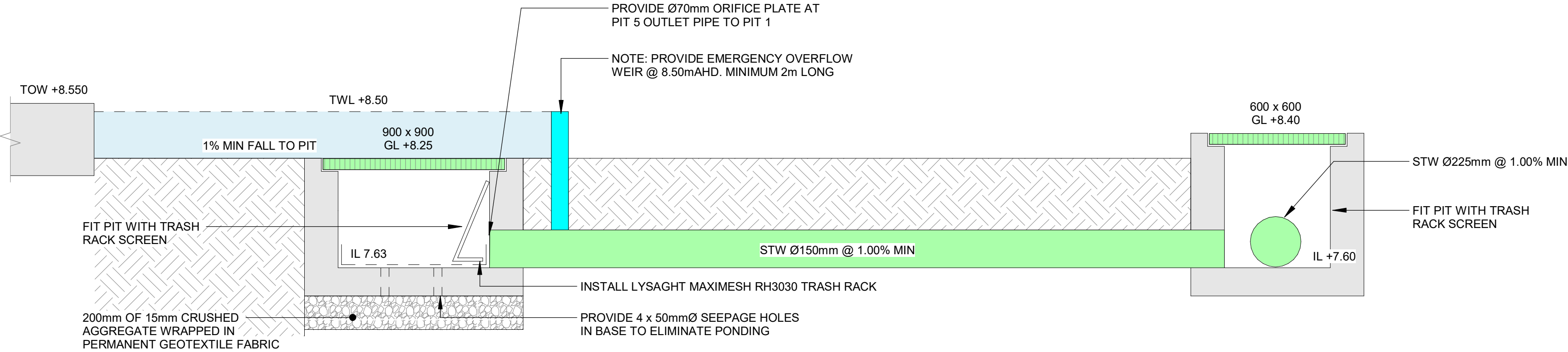
1. ENSURE CLIMB IRONS ARE PROVIDED UNDER LID AT 300 CTS TO COUNCIL'S SPECIFICATIONS WHERE PIT DEPTH IS DEEPER THAN 1000.
2. GREENVIEW RECOMMENDS THE PLUMBER PROVIDES 900dia x 3000 LONG SUBSOIL DRAINAGE STUB PIPE SURROUNDED WITH 100mm THICKNESS OF NOMINAL 20mm COARSE FILTER MATERIAL WRAPPED IN GEOTEXTILE FILTER FABRIC. (BIDUM A24 OR APPROVED SIMILAR), TO BE PARALLEL TO UPSTREAM SIDE OF EACH INLET PIPE.

PIT SIZE	
DEPTH	PIT DIMENSION
0 - 600	450 mm x 450 mm
600 - 900	600 mm x 600 mm
900 - 1200	600 mm x 900 mm
1200 +	900 mm x 900 mm

TYPICAL CONCRETE INLET PIT - CONCRETE SURFACE  
Scale: 1 : 20



TYPICAL ORIFICE PLATE DETAIL  
Scale: 1 : 10



ABOVE GROUND PONDING  
Scale: 1 : 20

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PROPOSED DEVELOPMENT

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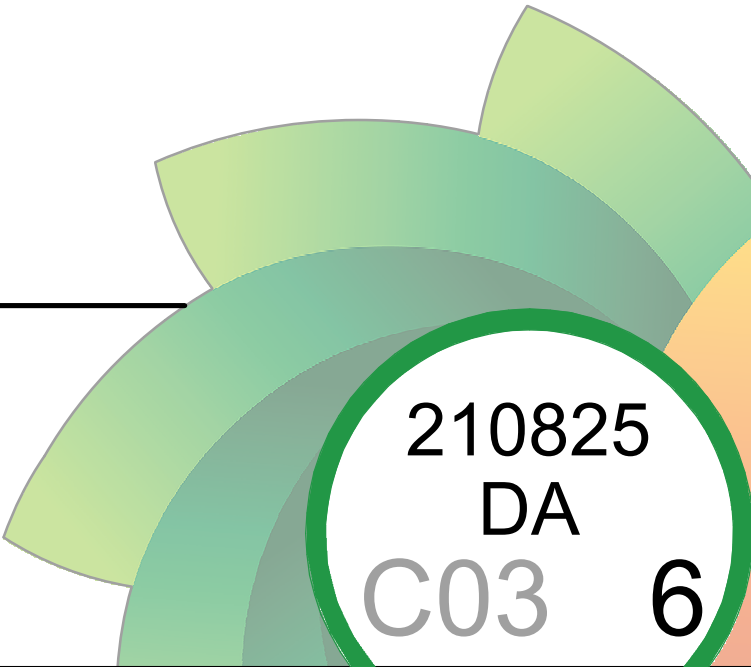
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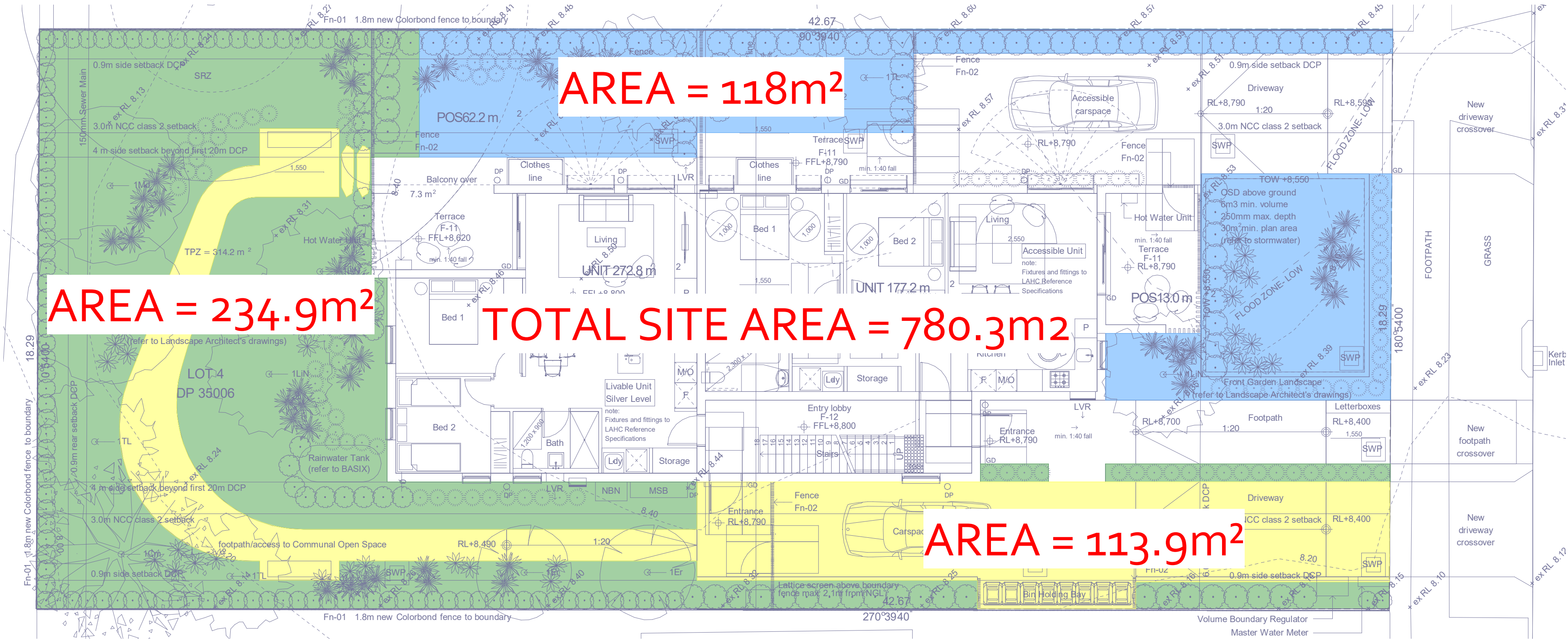
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CIVIL DESIGN

SITE STORMWATER DETAILS SHEET 1







OSD CATCHMENT PLAN  
Scale: 1 : 100

TOTAL OSD BYPASS AREA = 348.8m<sup>2</sup>

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13 Latty Street, Fairfield, NSW

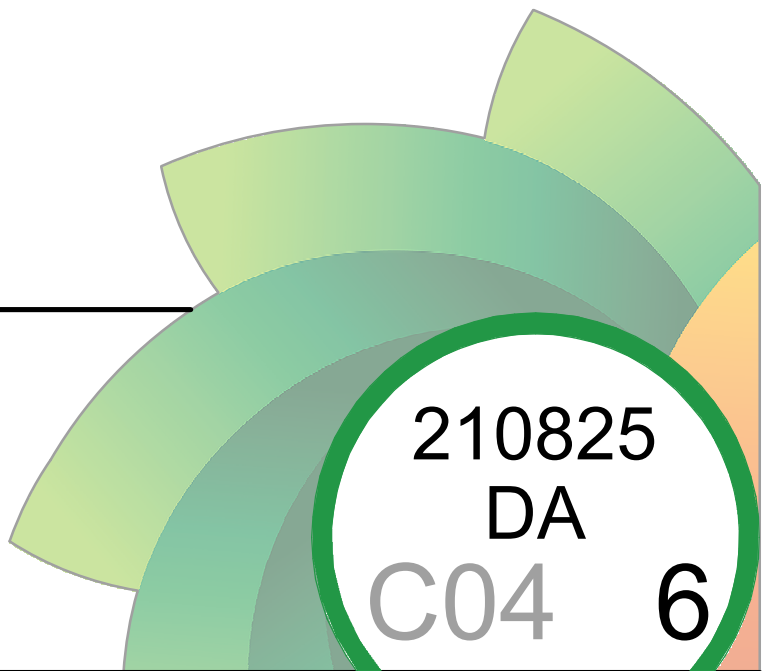
STUDIO JOHNSTON



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CIVIL DESIGN

OSD CATCHMENT PLAN





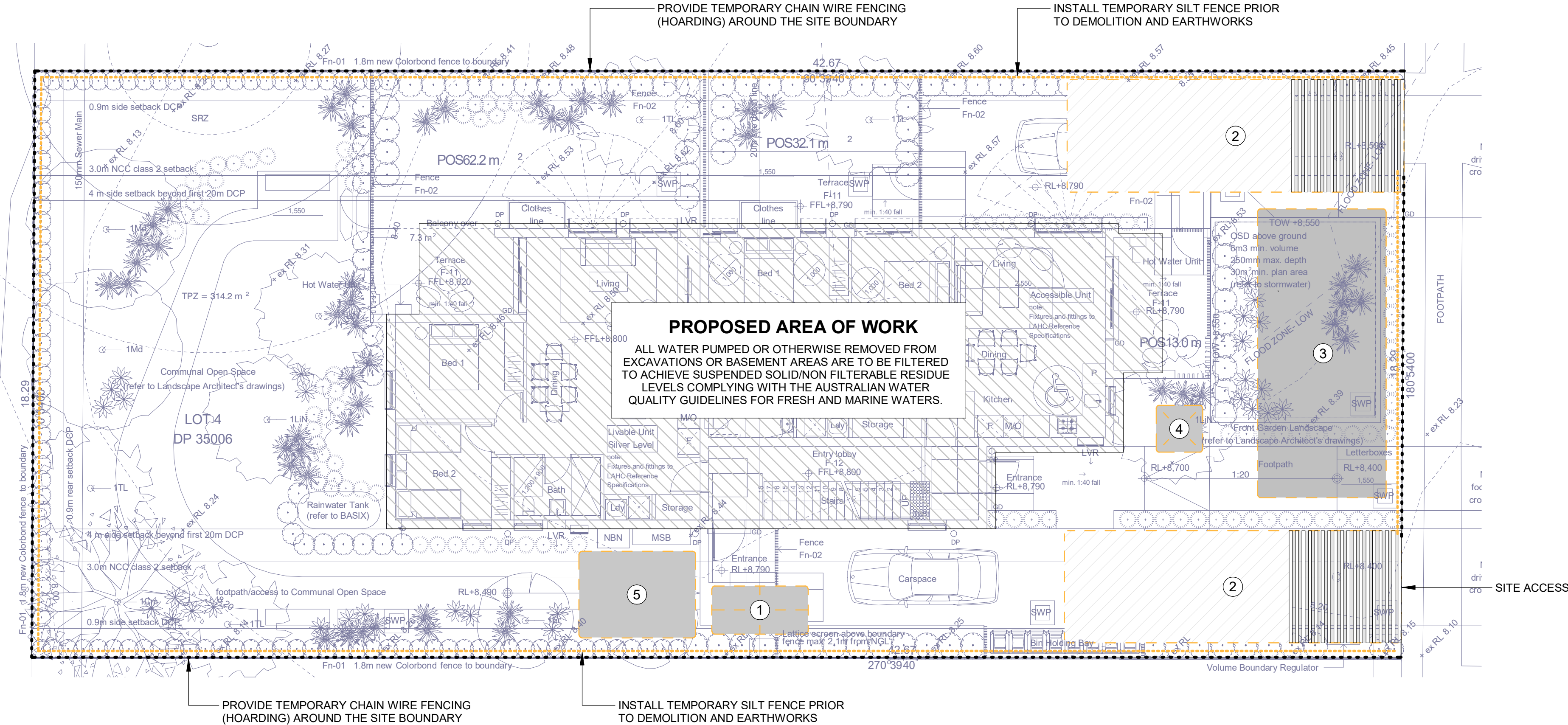




SITE MANAGEMENT LEGEND

- CHAIN WIRE FENCE
- SILT FENCE

ESM - SITE MANAGEMENT SCHEDULE	
TYPE	DESCRIPTION
1	SKIP BIN (PROVIDE COVER)
2	SITE ACCESS GRATE
3	MATERIALS STOCKPILE (RELOCATE AS NECESSARY)
4	TOILET FACILITY
5	SITE SHED



ENVIRONMENTAL SITE MANAGEMENT LAYOUT

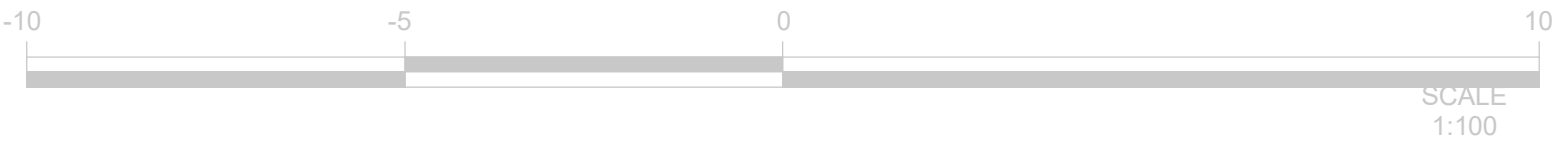
Scale: 1 : 100

FOR NOISE CONTROL, VIBRATION MANAGEMENT, DUST CONTROL, ODOUR CONTROL REFER TO NOTES ON THIS DRAWING, FOR OTHER NOTES (LITTER/WASTE, STORMWATER) REFER ESM1

WHERE WORK INVOLVES EXCAVATION OR STOCKPILING OF RAW OR LOOSE MATERIALS, EROSION AND SEDIMENT CONTROL DEVICES SHALL BE PROVIDE WHOLLY WITHIN THE SITE WHILST WORK IS BEING CARIED OUT IN ORDER TO PREVENT SEDIMENT AND SILT FROM SITE WORKS BEING CONVEYED BY STORMWATER INTO COUNCIL'S STORMWATER SYSTEM, NATURAL WATER COURSES, BUSHLANDS, AND NEIGHBORING PROPERTIES. IN THIS REGARD, ALL STORMWATER DISCHARGE FROM THE SITE SHALL MEET THE REQUIREMENTS OF THE PROTECT OF ENVIRONMENT OPERATIONS ACT 1997 AND THE DEPARTMENT OF ENVIRONMENT, CLIMATE CHANGE AND WATER GUIDELINES. THE CONTROL DEVICES ARE TO BE MAINTAINED IN A SERVICEABLE CONDITION AT ALL TIMES.

THE BUILDER AND EXCAVATION CONTRACTOR ARE TO ENSURE ANY WATER DISCHARGED INTO COUNCIL STORMWATER SYSTEM FROM THE EXCAVATED PORTIONS OF THE SITE COMPLY WITH THE RELEVANT ENVIRONMENTAL CRITERIA AND APPROPRIATE CONTROL METHODS SHALL BE ADOPTED. THE PROPOSED CONTROL METHODS ARE STRICTLY TO COMPLY WITH THE ANZECC 2000 GUIDELINES.

- NOISE CONTROL**
- WHERE POSSIBLE, STRATEGICALLY PLACE NOISE-GENERATING PLANT / EQUIPMENT TO TAKE ADVANTAGE OF NATURAL SCREENING (E.G. BUILDINGS)
  - AVOID PLACING NOISE-GENERATING PLANT / EQUIPMENT CLOSE TOGETHER AND/OR OPERATE SIMULTANEOUSLY
  - MAINTAIN ALL PLANT & EQUIPMENT TO MINIMISE NOISE EMISSIONS (E.G. REPAIR BROKEN SILENCING EQUIPMENT, TIGHTEN RATTLING COMPONENTS ETC)
  - ALL PLANT & EQUIPMENT TO BE OPERATED IN THE CORRECT MANNER TO AVOID UNNECESSARY NOISE EMISSIONS
  - ALL DELIVERIES TO SITE TO BE IN ACCORD WITH THE RELEVANT CONSTRUCTION TRAFFIC MANAGEMENT PLAN (CTMP)
  - NO PUBLIC ADDRESS SYSTEMS TO BE USED EXCEPT IN THE CASE OF EMERGENCIES
  - WHERE NECESSARY, FIT PLANT WITH SILENCERS AND/OR OTHER NOISE ATTENUATION MEASURES
  - ENSURE CONSTRUCTION VEHICLES AND PLANT/EQUIPMENT ARE TURNED OFF WHEN NOT IN USE (I.E. AVOID IDLING)
- VIBRATION MANAGEMENT**
- USE LOW-VIBRATION EMITTING PLANT & EQUIPMENT WHERE POSSIBLE
  - WHERE PRACTICAL, USE NON-PERCUSSIVE PILING TECHNIQUES OR PROVIDE ACCOUSTIC SHIELDING
- DUST CONTROL**
- WHERE POSSIBLE, STAGE ANY VEGETATION REMOVAL TO MINIMISE EXPOSED AREAS
  - AREAS EXPOSED (IN THE SHORT TERM) TO BE STABILISED USING WATERING AND/OR GEO-FABRICS AS APPROPRIATE TO MINIMISE DUST GENERATION
  - MODIFY / REDUCE CONSTRUCTION ACTIVITIES DURING HIGH WIND CONDITIONS IF INCREASED DUST GENERATION IS A POSSIBILITY
  - DUST CONTROL MEASURES TO BE IMPLEMENTED AS THE SITE SUPERVISOR DEEMS APPROPRIATE, INCLUDING WATER CARTS, SPRINKLERS, SPRAYS, DUST SCREENS, ETC
  - CHECK EROSION CONTROL MEASURE REGULARLY TO ENSURE CAPTURED SILT DOES NOT BECOME AIRBORNE
- ODOUR CONTROL**
- SEGRATE AND COLLECT WASTE REGULARLY TO ENSURE ODOURS ARE MINIMISED
  - NO BURNING-OFF OF WASTE AT ANY TIME
  - REMOVE WASTE BINS FROM SITE REGULARLY



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1	08.03.2022	JPS	ISSUED FOR APPROVAL

PROPOSED DEVELOPMENT

13 Latty Street, Fairfield, NSW

STUDIO JOHNSTON



DESIGN: RC | DRAWN: JPS | CHECKED: AMcK | SIZE: A1 | SCALE: 1 : 100

CIVIL DESIGN

ENVIRONMENTAL SITE MANAGEMENT PLAN

